

Title	Planning Applications
To:	Planning Control Committee
On:	17 July 2012
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Area Board/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Area Board-Ward: Ramsbottom + Tottington - Tottington	App No. 54991
	Location: Land at the rear 353 and 365, including Beechwood Bungalow, Bury Road, Tottington, Bury, BL8 3DS	
	Proposal: Outline application for residential development of 30 dwellings including details of access	
	Recommendation: Approve with Conditions	Site Visit: N
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02	Area Board-Ward: Bury West - Church	App No. 55103
	Location: 496 Bolton Road, Bury, BL8 2DU	
	Proposal: Demolition of existing house (retrospective); Erection of detached dwelling, boundary wall fronting Bolton Road to include railings and electrically operated sliding gate and new vehicular access	
	Recommendation: Approve with Conditions	Site Visit: Y
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03	Area Board-Ward: Bury West - Church	App No. 55134
	Location: 498 Bolton Road, Bury, BL8 2DU	
	Proposal: Construction of outer leaf of masonry over original party wall; Remodelling of roof to form a hip; Creation of new passageway between dwellings following demolition of adjacent semi-detached dwelling	
	Recommendation: Approve with Conditions	Site Visit: Y
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04	Area Board-Ward: Bury East - Redvales	App No. 55106
	Location: 39 Redvales Road, Bury, BL9 9PU	
	Proposal: First floor extension at side; Single storey extension at rear (Resubmission of 54314).	
	Recommendation: Approve with Conditions	Site Visit: Y
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05	Area Board-Ward: Prestwich - Sedgley	App No. 55170
	Location: 118 Rectory Lane, Prestwich, Manchester, M25 1GB	
	Proposal: Mixed use development comprising of 2 storey building with a ground floor retail unit (Class A1) and 3 no. flats (Class C3) at first floor with associated car parking and service yard facility	
	Recommendation: Minded to Approve	Site Visit: N
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06	Area Board-Ward: Bury East - Redvales	App No. 55198
	Location: Land adjacent to 1 Ribchester Drive, Bury, BL9 9JT	
	Proposal: Residential development of 5 no. 3-storey townhouses (resubmission)	
	Recommendation: Minded to Approve	Site Visit: N
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07	Area Board-Ward: Bury East	App No. 55222

Location: 5 Back Broad Street, Bury, BL9 0EW
Proposal: Change of use from drama studio/workshop to live music venue (Class D2); Alterations to existing elevations and new canopy
Recommendation: Approve with Conditions **Site Visit:** N

08 **Area Board-Ward:** Whitefield + Unsworth - Pilkington Park **App No.** 55239

Location: 231 Bury New Road, Whitefield, Manchester, M45 8QP
Proposal: Erection of conservatory to the south side (resubmission)
Recommendation: Approve with Conditions **Site Visit:** N

09 **Area Board-Ward:** Radcliffe - East **App No.** 55315

Location: Land Between 52-162 & 183-245 Dumers Lane, Radcliffe, Manchester, M26 2GE
Proposal: Works by United Utilities (to construct a new underground pumping station) to include: 2 new access areas and temporary access; control box and outfall structure; demolition of pumping station; new fence; tree removal and new tree planting scheme
Recommendation: Approve with Conditions **Site Visit:** N

Ward: Ramsbottom + Tottington - Tottington

Item 01

Applicant: Pennine and Rossendale Estates Limited

Location: Land at the rear 353 and 365, including Beechwood Bungalow, Bury Road, Tottington, Bury, BL8 3DS

Proposal: Outline application for residential development of 30 dwellings including details of access

Application Ref: 54991/Outline Planning
Permission

Target Date: 03/08/2012

Recommendation: Approve with Conditions

A site visit was requested by Coucillor Wright on this item. The Planning Committee are required to make a resolution on whether to visit the site or not.

Description

The site contains a bungalow (Beechwood Bungalow) in the north eastern corner, a small access track/road from Bury Road and a large grassland area. Beechwood bungalow is accessed from Beechwood Court, which serves 4 other properties.

There are mature trees around the boundary of the whole site and those on the western and northern boundaries are protected by Tree Preservation Orders. The grassland area is accessed via a short access road, which is located between 353 and 365 Bury Road and also serves as an access to No. 353 Bury Road.

The site is bounded on three sides by residential properties to the east, north east, south and west (fronting onto Bury Road).

The applicant seeks to demolish Beechwood Bungalow and obtain outline consent for residential development (30 dwellings) on the whole of the site with the means of access to the site taken from Bury Road. The appearance, layout, scale and landscaping of the site are reserved matters.

The only access would be provided by an existing access road, which is located centrally between 353 and 365 Bury Road. The indicative layout shows residential properties would be located on either side of the new road and would be of a mix of two storey and two storey dwellings with additional living accommodation in the roof space. All of the proposed dwellings can accommodate 2 parking spaces and 24 can accommodate an integral garage.

Relevant Planning History

35651 - Residential development - 15 dwellings at land at 353 Bury Road, Tottington.

Refused - 30 May 2000. Appeal dismissed - 19 January 2001

The appeal was dismissed as the development would run counter to the aims of urban regeneration as set out in PPG3, which includes the maximisation of the use of previously developed land.

38930 - Use of land as gardens at land to rear of 353 Bury Road, Tottington. Approved with conditions - 19 April 2002

43323 - Outline residential development & demolition of 3 houses, including details of means of access to the site - approx 50 units at land to rear of 353 - 375 Bury Road, Tottington. Refused - 15 December 2004. Appeal dismissed - 13 April 2006

The appeal was dismissed as

- a substantial part of the site is not previously developed land and it would not meet any

of the exceptions in SPD7 and in the context of the oversupply, there were no grounds to justify the release of the site; and

- The loss of built heritage through the demolition of Beechwood House would detract from the quality of the area.

45496 - Access Road (retrospective) at land adjacent to 353 Bury Road, Tottington. Approved with conditions - 30 December 2005

Site of Beechwood bungalow

40078 - Demolition of existing bungalow and storage building. Erection of detached house with detached garage and tennis court at land at Beechwood Bungalow, Bury Road, Tottington. Approved with conditions - 23 January 2003

46607 - Detached double garage at 373 Bury Road, Tottington. Approved with conditions - 23 August 2006

Adjacent site

40933 - First floor extension with front and rear dormers; two storey extension at side; conservatory at side at 353 Bury Road, Tottington. Refused - 30 July 2003.

41462 - Two storey extension at side; first floor extension with front and rear dormers; conservatory at side (resubmission) at 353 Bury Road, Tottington. Approved with conditions - 8 December 2003

Publicity

49 neighbouring properties (262 - 276 (evens), 333 - 353 (odds), Dentdale (365), 367 - 373 (odds), 379 Beechwood, New Beechwood, Beechwood Lodge, Bury Road; 2, 8 Beechwood Court; 34 - 40 (evens) Royds Close; 19 - 39 (odds), 25A Bowes Close) were notified by means of a letter on 10 May and a press notice was posted in the Bury Times on 17 May and site notices were posted on 17 May 2012.

A press notice will be published in the Bury Times on 12 July and site notices were posted on 3 July 2012 advertising the application as a departure.

A petition containing 160 signatures has been received objecting to the proposed development.

22 letters have been received from the occupiers of 34 Moorside Road, 114 Scobell Street, 402 Tottington Road, New Beechwood House, 266, 270, 274, 276, 282, 343, 351, 367, Dentdale (365), 367, 369, 373, 385, 387 Bury Road, 27, 33 Bowes Close; 5 Keld Close, which have raised the following issues:

- There are too many new houses in the area. What provisions are being considered for increase in traffic, new schools, play areas etc.
- Impact upon traffic flow along Bury Road.
- Existing traffic levels are dangerous. What traffic calming measures are being proposed along Bury Road?
- Previous applications to build houses on the site have been refused and dismissed at appeal.
- Other housing developments have been approved since the previous refusals - Olives Paper Mill, housing estate at Kirklees Street and permission has been granted on Scobell Street and Former Elton Cop Dye works on Walshaw Road, leading to increased traffic along Bury Road.
- The proposal would damage the ecology of the area.
- The applicant has a disregard for planning having knocked down a boundary wall and failed to replace it.
- The existing driveway at the side of the bungalow should have been made right following the rejection to build.
- Impact upon trees.
- Several applications have been made for residential development and all have been

refused.

An e-mail has been received from Councillor Gartside, who has raised the following issues:

- The proposal would have an adverse impact upon an already over congested Bury Road.
- The ability of primary schools to cope with the added demand for placements, which the proposal would cause.
- There are more suitable brownfield sites available.
- The proposal would have an adverse impact upon the local wildlife with the potential to remove trees.

The objectors and Councillor have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of conditions relating to driveway lengths, details relating to the means of access to the site, turning facilities and measures to restrict mud passing onto the adopted highway during construction.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of standard conditions relating to contaminated land.

Environmental Health - Pollution Control - Comments awaited and will be reported in the Supplementary Report.

Waste Management - No objections.

Design for security - No objections to proposal.

Performance & Housing Strategy - Comments awaited and will be reported in the Supplementary Report.

Baddac - Suggest a condition relating to the proposed dwellings should be built to Lifetime Homes standards.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN1/6	Public Art
EN1/7	Throughroutes and Gateways
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN6/4	Wildlife Links and Corridors
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/5	Waste Water Management
EN8/1	Tree Preservation Orders
EN8/2	Woodland and Tree Planting
OL2/1	Development on Other Protected Open Land
OL3/1	Protection of Urban Open Space
RT1/1	Protection of Recreation Provision in the Urban Area
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
SPD1	Open Space, Sport and Recreation Provision
SPD4	DC Policy Guidance Note 4: Percent for Art
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

Principle - Bury's statutory housing targets are set out in the Regional Spatial Strategy for the North West (RSS) at 500 dwellings per annum between 2003 and 2021. In addition to this annual target, housing delivery in the Borough also needs to take account of the shortfall in completions in the past six years, which has only averaged around 280 per annum, mainly as a result of the prevailing housing market conditions.

Whilst the Government has indicated that it is seeking to remove RSS and its housing targets, they have not indicated when this will be done and, therefore, the RSS target remains the statutory housing target until such time as RSS is removed or it is replaced by a new target in Bury's emerging Local Plan. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up with sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed out (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring indicates that the Council is unable to demonstrate a five year supply of deliverable housing land (4.7 years with a 5% buffer applied in accordance with the NPPF) and this needs to be treated as a material factor when determining applications for residential developments.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses. .

The proposed development is located within the urban area and within a residential area. As such, the proposed development would not conflict with the surrounding land uses and would be located in a sustainable location with good access to public transport and services.

The site contains a small area of previously developed land (Beechwood Bungalow), but the majority of the site is undeveloped (greenfield) land. Moreover the land that was occupied by the bungalow is also classed as greenfield following changes to legislation and the introduction of the NPPF. The NPPF states that brownfield land should be released before greenfield, but a lack of a five year supply is a reasonable justification to releasing greenfield sites, which would otherwise be suitable. Given that the site is in a sustainable location in the urban area and that there is a lack of a 5 year supply of housing within the borough, the proposed development would be acceptable and is in general accordance with national and regional planning policy and will help to contribute to meeting local housing targets. Therefore, the proposed development would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Design and impact upon the surrounding area - The layout plan for the proposed development is indicative although the means of access to the site is fixed. The design and appearance of the proposed dwellings would be the subject of a future application. The indicative plan shows that 30 dwellings could be accommodated on the site and respect the

aspect standards set out in SPD6. SPD6 provides guidance on aspect standards between residential properties and would be relevant in this case and is formally adopted Council Policy.

The proposed dwellings would be a mix of 2 storey and 2 storeys with rooms in the roof space (3 storey). There is a mix of dwellings in the surrounding area - bungalows, 2 storey dwellings and dormer bungalows, some of which are raised up from the road. Given the mix of properties and the differing heights both on the proposed development and in the surrounding area and the fact that the majority of the mature trees on the boundary of the site would be retained, the proposed development would not look out of place within the locality.

Flood risk - A Flood Risk Assessment was submitted as part of the application and states that the main risk is from surface water run-off (overland flow). There are numerous ways in which rainwater can be stored for later use, including infiltration techniques, rainwater attenuation into storage tanks and Sustainable Urban Drainage Schemes (SUDS). Given that the principle of the site is considered to be appropriate in land use terms, there would be a need to ensure that surface water run off is appropriately dealt with through the imposition of a planning condition. On this basis, the site can be developed for residential use without increasing the flood risk to the site itself or other sites in the locality and the proposed development would be in accordance with Policy EN5/1 of the Bury Unitary Development Plan and the NPPF.

Trees - There are 13 trees along the northwestern boundary of the site and 1 tree on the southeastern boundary of the site, which are protected by a Tree Preservation Order. The tree survey states that 2 trees need to be removed due to their condition, regardless of the proposed development. The remaining trees would be unaffected by the proposed development and care should be taken when the detailed layout for the site is designed. Therefore, the proposed development would be in accordance with Policy EN8/2 of the Bury Unitary Development Plan.

Ecology/bats - Himalayan Balsam and Japanese Knotweed are present on the site and a condition requiring their removal would be included on any grant of planning permission.

A bat survey was submitted as part of the application and it states that the bungalow is of moderate to high risk of being used by roosting bats. As such, three activity surveys should be undertaken to establish whether bats are using the roosting potential. These surveys are currently being undertaken and will be reported in the Supplementary Report.

Most of the trees at high risk of being used by bats are to be retained. As such, the report recommends that the root zones of the trees are protected during construction and this would be secured by a condition.

Parking and access - The site would be accessed from the existing tarmac access located between Nos 353 and 365 Bury Road. There is good visibility at the junction and the Transport Statement concludes that any additional traffic can be accommodated at the junction and the surrounding area. The Traffic Section has no objections, subject to the inclusion of conditions relating to driveway lengths (which would be assessed at reserved matters stage), means of access to the site, turning facilities and measures to restrict mud passing onto the adopted highway during construction. Therefore, the proposed development would not be detrimental to highway safety.

The proposed development could meet lifetime homes standards and a condition requiring this would be included on any grant of planning consent. Therefore, the proposed development would be accessible and would be in accordance with Policy HT5/1 of the Bury Unitary Development Plan.

Previous decisions - As stated in the relevant history of the site, whilst there have been

applications refused on the site and Appeals dismissed, these were all based on relevant Planning Policy decisions at that time. In particular, the National Policy on giving a priority to Brownfield development, the availability of housing supply at that time, a housing restrictions policy introduced by the Council (SPD 7) and in one instance, the loss of a property that is outside the current proposed site. The above report clearly indicates that there is a different planning climate to consider at the moment, which is based upon a clear National Planning Policy framework and the need to deliver housing locally.

Planning obligations - As the application is in outline, the standard contributions relating to affordable housing, recreation provision and Percent for Art would be ensured at reserved matters stage through the imposition of planning conditions.

Departure - The application was initially considered to constitute a Departure from the Unitary Development Plan and was subsequently advertised as such in the Bury Times and on site. However, further investigation as to the exact boundaries of the red edge shows that the site is unallocated and is not covered by any formal designations in the Unitary Development Plan. As such, Officers are satisfied that the application does not constitute a Departure from the Development Plan.

Response to objectors

The issues relating to housing supply, highways issues, ecology, impact upon trees, lack of play/recreational facilities and previous applications and appeals have been addressed in the report above.

A application (45496) was submitted to regularise the access road/driveway at the side of the bungalow and was approved in December 2005. The removal of a boundary wall would not require planning permission.

The provision of school places is a matter for the Education Department to accommodate. The Council is obliged not only to ensure sufficient provision for education but also housing supply. On this basis, the Local Planning Authority, in its preparation of the Core Strategy and the introduction of the Community Infrastructure Levy Regulations, is developing a local policy to secure such infrastructure contributions from developers. However, given the scale of this scheme, the Education Dept have confirmed that there are no objections to the scheme or consider that there would be any unacceptable demands that would arise from this development in this area in terms of school provision for the future population.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

The proposed development would be acceptable in principle and would not have an adverse impact upon the amenity of the neighbouring properties. The proposed development would not be detrimental to highway safety and would not be a prominent feature in the streetscene.

There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. Applications for approval of reserved matters must be made not later than:
 - the expiration of three years beginning with the date of the grant of outline planning permission; and
 - that the development to which the permission relates must be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the last such matter to be approved.

Reason. Required to be imposed pursuant to Section 51 of the Planning and Compulsory Purchase Act 2004

2. Before the development is commenced, the applicant shall submit detailed plans and particulars to the Local Planning Authority, and obtain their approval under the Town and Country Planning Acts, of the following reserved matters; the layout, scale, appearance and the landscaping of the site.

Reason. To ensure the satisfactory development of the site and because this application is in outline only.

3. This decision relates to drawings numbered H312/010, H312/005 D - Indicative site layout, access only., H312/001 A, H312/002 B, H312/003 A, H312/004 A and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

4. No development shall commence unless and until:-

- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and; The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:
 - Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
 - A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
8. Following the provisions of Condition 4 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
9. No development shall commence until full details of a scheme for the eradication and/or control of Japanese Knotweed (*Fallonica Japonica*, *Rouse Decraene*, *Polygonum Cuspidatum*) and Himalayan Balsam (*Impatiens Glandulifera*) is submitted to and approved in writing by the Local Planning Authority. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.

Reason. To ensure that the site is free from Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape.
10. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year unless otherwise agreed in writing with the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
11. Provision for lifetime homes shall be incorporated into the development in accordance with a scheme to be submitted at reserved matters stage. The development shall then be carried out incorporating the measures in accordance with the approved scheme.

Reason. To ensure that the development is fully accessible to disabled persons pursuant to Policies HT5/1 – Access for Those with Special Needs of the Bury Unitary Development Plan.

12. The development hereby approved shall include an element of recreational provision that would be sufficient to be in accordance with Bury Unitary Development Plan Policy RT2/2 - Recreation Provision In New Residential Development and the associated Supplementary Planning Document - Open Space, Sport and Recreation Provision.
Reason - To ensure that the development would contribute to satisfying the need for recreation provision pursuant to Bury Unitary Development Plan Policy RT2/2 - Recreation Provision In New Residential Development and the associated Supplementary Planning Document - Open Space, Sport and Recreation Provision.
13. The development hereby approved shall include provision for affordable housing that would be sufficient to be in accordance with Bury Unitary Development Plan Policy H4/1 - Affordable Housing and the associated Development Control Policy Guidance Note 5 - Affordable Housing Provision In New Residential Developments. The approved details shall be submitted as part of the first reserved matters application relating to the housing proposals within the site and the approved provision shall be implemented as approved in writing by the Local Planning Authority.
Reason. To ensure that the development would contribute to satisfying the need for affordable housing provision pursuant to Bury Unitary Development Plan Policy H4/1 - Affordable Housing and the associated Development Control Policy Guidance Note 5 - Affordable Housing Provision In New Residential Developments.
14. The development hereby approved shall include an element of public art that would be sufficient to be in accordance with Bury Unitary Development Plan Policy EN1/6 - Public Art and the associated Development Control Policy Guidance Note 4 - Per Cent for Public Art.
Reason - To ensure that the development would contribute to satisfying the need for public art pursuant Bury Unitary Development Plan Policy EN1/6 - Public Art and the associated Development Control Policy Guidance Note 4 - Per Cent for Public Art.
15. Full details of the proposed internal road layout, boundary treatment at the interface with the adopted highway on Bury Road and measures to abandon the existing vehicular access to Beechwood Bungalow shall be submitted at first reserved matters application stage.
Reason. To secure the satisfactory development of the site in terms of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design
16. There shall be no direct means of vehicular access between the site and Tottington Road other than the proposed site access indicated on approved plan reference H312/005 Revision D and in Appendix 8 of the submitted Transport Statement reference WB/11226/TS.
Reason. To ensure good highway design in the interests of road safety pursuant to Policy H2/2 - The Layout of New Residential Development and Policy EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.
17. The development hereby approved shall not be commenced unless and until the site access indicated on approved plan reference H312/005 Revision D and in Appendix 8 of the submitted Transport Statement reference WB/11226/TS has been implemented to at least base course level and to the written satisfaction of the Local Planning Authority. The approved access shall then be fully completed prior to occupation of the final dwelling.
Reason. To ensure good highway design in the interests of road safety pursuant to Policy H2/2 - The Layout of New Residential Development and Policy EN1/2 -

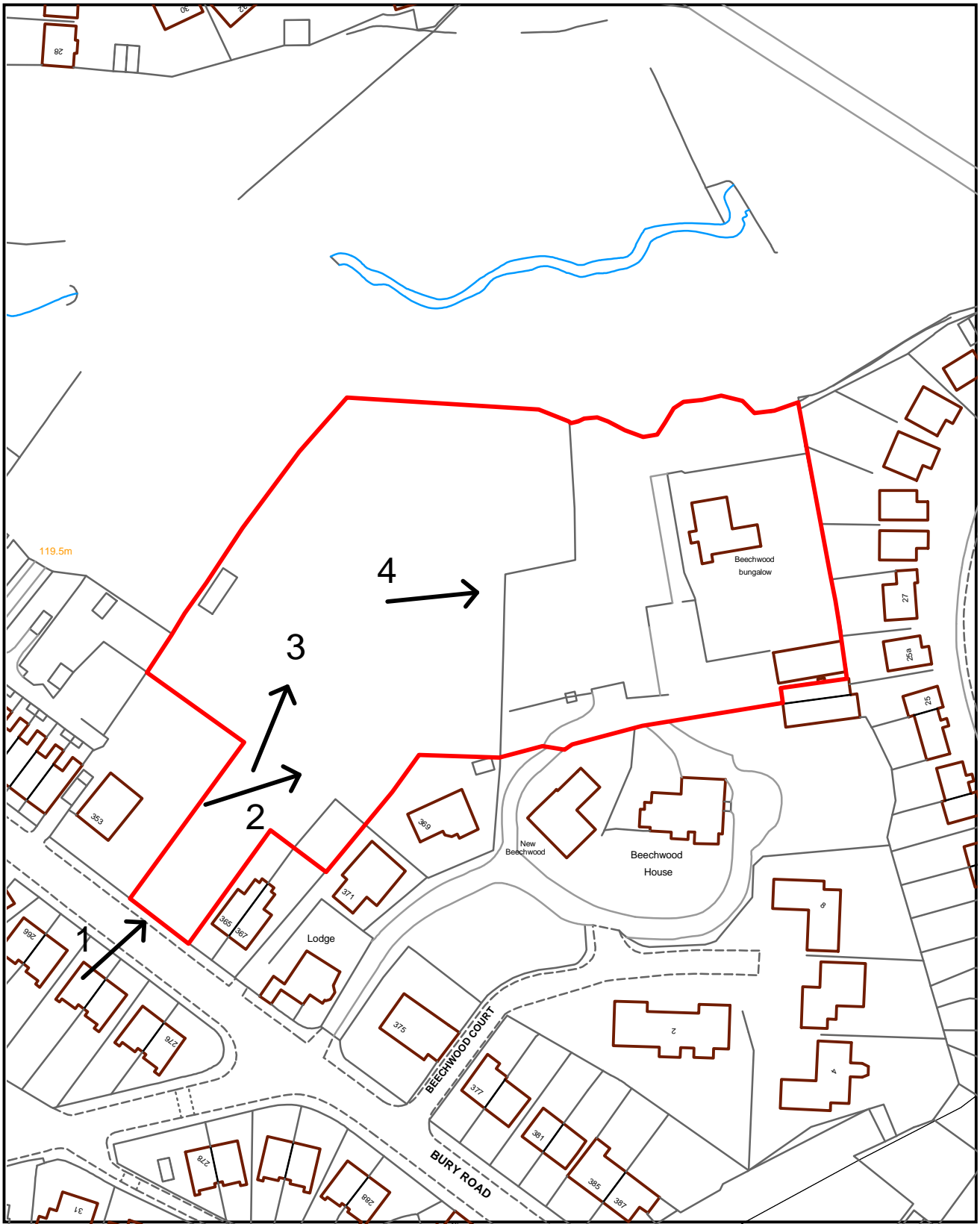
Townscape and Built Design of the Bury Unitary Development Plan.

18. Provision shall be made within the site to the written satisfaction of the Local Planning Authority to enable vehicles to enter and leave the site in forward gear and shall subsequently be maintained free of obstruction.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of highway safety pursuant to Policy H2/2 - The Layout of New Residential Development and Policy EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.

19. No development shall commence unless or until, details of measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented and maintained thereafter during the period of construction.
Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Policy H2/2 - The Layout of New Residential Development and Policy EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 54991

ADDRESS: Land at the rear of 353 & 365
including Beechwood bungalow,
Bury Road, Tottington

E D S



Bury
COUNCIL

1:1250

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54991

Photo 1



Photo 2



Photo 3



Photo 4



Standards

Topsoil
Imported top soil to comply with BS3882:1994. Where topsoil is absent imported top soil shall be spread to a depth of 0.3m. Within any tree protection areas, to minimize disturbance of tree roots during planting operations, topsoil shall be spread to a maximum depth of 0.15m over existing top soil.

Planting

All nursery stock shall comply with BS 3936, Specification for nursery stock. All site preparation, planting and post-planting aftercare shall comply with "Handing and Establishment of Landscape Plants" 1996 published by the committee for Plant Supply and Establishment. All stock to be planted at the sizes and densities stated in the planting schedule. All trees of a height greater than 1.5 metres shall be supported using a wooden stake of a top diameter not less than 50mm. The tree stake shall be driven to a depth of not less than 0.5m. The height of the stake above the ground level shall be equal to 1/3rd the height of the tree. All staked trees shall be attached to the top of the stake with a single proprietary tree tie.

Mulching

All planted ornamental stock shall be mulched with a coarse grade of part-composted wood-chip or bark mulch. The mulch shall be spread to a depth of 50mm to a radius of 300mm around all shrubs and transplants and a radius of 500mm around all trees of a height greater than 1.0m.

Shrub planting:

Mix A

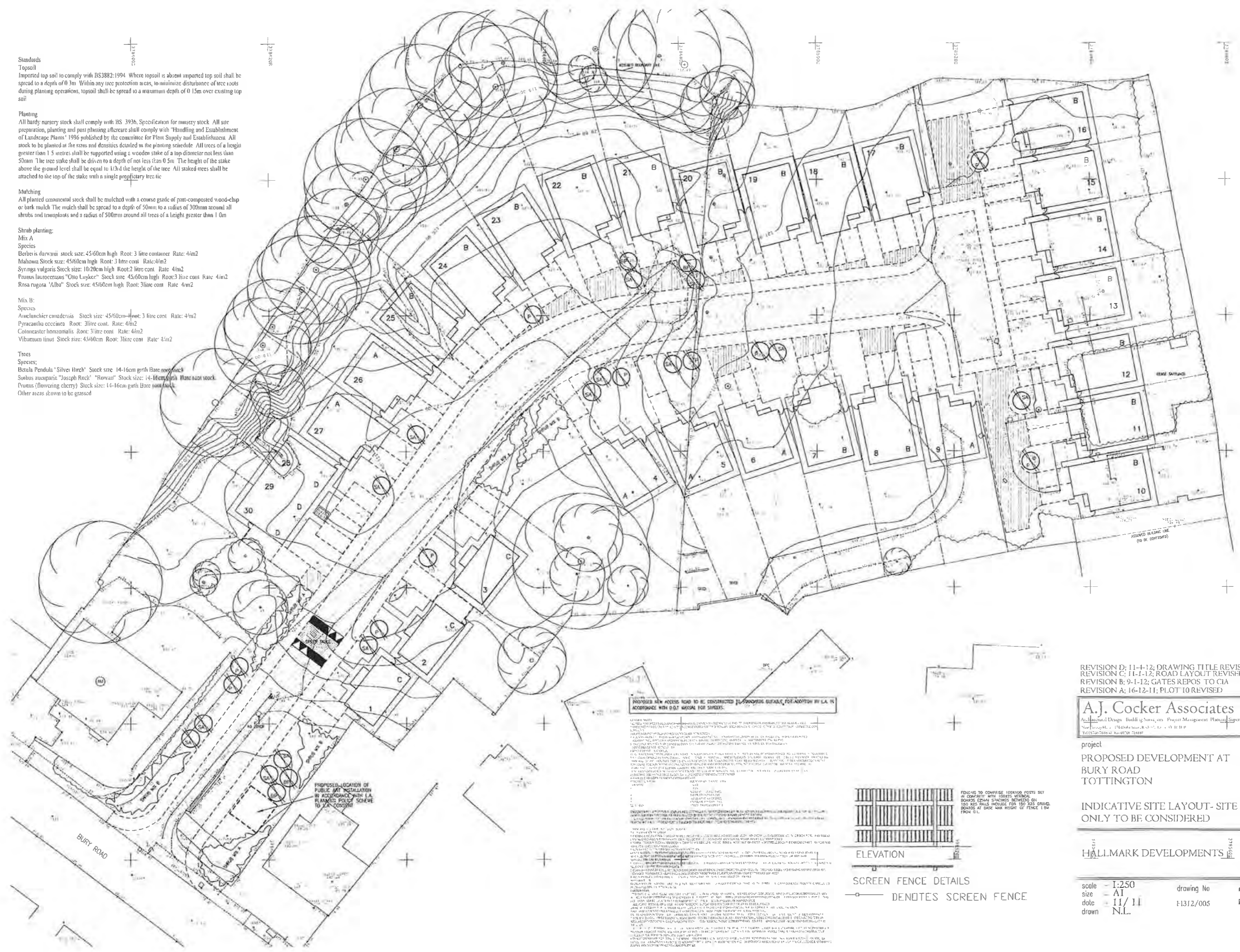
Species:
Berberis darwinii Stock size: 45/60cm high Root: 3 litre container Rate: 4/m²
Mahonia Stock size: 45/60cm high Root: 3 litre cont. Rate: 4/m²
Syringa vulgaris Stock size: 10/20cm high Root: 2 litre cont. Rate: 4/m²
Prunus laurocerasus "Omo Layer" Stock size: 45/60cm high Root: 3 litre cont. Rate: 4/m²
Rosa rugosa "Alba" Stock size: 45/60cm high Root: 3 litre cont. Rate: 4/m²

Mix B

Species:
Anemone canadensis Stock size: 45/60cm high Root: 3 litre cont. Rate: 4/m²
Pyracantha coccinea Root: 3 litre cont. Rate: 4/m²
Cotoneaster horizontalis Root: 3 litre cont. Rate: 4/m²
Viburnum tinus Stock size: 45/60cm high Root: 3 litre cont. Rate: 4/m²

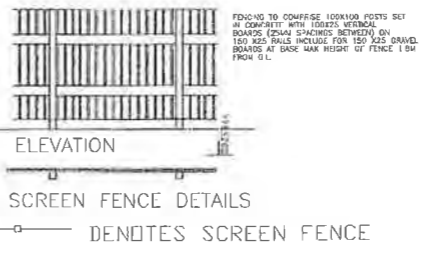
Trees

Species:
Betula Pendula 'Silver Birch' Stock size: 14-16cm girth Bare root stock
Sorbus aucuparia 'Joseph Rock' 'Rowan' Stock size: 14-16cm girth Bare root stock
Prunus (flowering cherry) Stock size: 14-16cm girth Bare root stock
Other areas shown to be grassed



PROPOSED NEW ACCESS ROAD TO BE CONSTRUCTED TO PROVIDE SUITABLE FOR NORTH BY L.A. IN ACCORDANCE WITH D.O.T. MANUAL FOR SERVICES.

GENERAL NOTES:
1. THE DRAWING IS TO BE USED IN CONJUNCTION WITH THE SPECIFICATION AND THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS AND WASTE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES.
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15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS.
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21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES.
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25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.



REVISION D: 11-4-12; DRAWING TITLE REVISED
REVISION C: 11-1-12; ROAD LAYOUT REVISED
REVISION B: 9-1-12; GATES REPOS TO CIA
REVISION A: 16-12-11; PLOT TO REVISED

A.J. Cocker Associates
Architectural Design, Building Services, Project Management, Planning Supervision
New England, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

project
**PROPOSED DEVELOPMENT AT
BURY ROAD
TOTTINGTTON**

INDICATIVE SITE LAYOUT- SITE ACCESS
ONLY TO BE CONSIDERED

HALLMARK DEVELOPMENTS

scale - 1:250
size - A1
date - 11/11
drawn - N.L.
drawing No - E1312/005
rev - D

Ward: Bury West - Church

Item 02

Applicant: Mr K Hayat

Location: 496 Bolton Road, Bury, BL8 2DU

Proposal: Demolition of existing house (retrospective); Erection of detached dwelling, boundary wall fronting Bolton Road to include railings and electrically operated sliding gate and new vehicular access

Application Ref: 55103/Full

Target Date: 19/06/2012

Recommendation: Approve with Conditions

The Committee resolved to carry out a site visit on 17th July 2012 prior to determining this application.

Description

The application site is land on which the former semi detached house 496 Bolton Road stood. The area is residential with two storey properties along Bolton Road and bungalows to the rear on Kenmore Avenue.

Planning permission was obtained for extensions and alterations to the property however as works commenced the house was demolished and therefore the permission can no longer be carried out. This application seeks approval for a new two storey detached dwelling with a new vehicular crossing to the front, boundary wall with railings and gate. There is a separate application 55134 for works to 498 Bolton Road, the previously attached semi, to make good the gable wall and roof and form a separate detached house.

Relevant Planning History

53831 - Two storey extension at side and rear and single storey extension at rear with porch and canopy at front. - Withdrawn by Applicant 03/05/2011

53988 - Two storey extension at side and rear and single storey extension at rear with porch and canopy at front and new drop kerb to allow vehicular access. (Resubmission of 53831) - Approved with Conditions 10/06/2011

54480 - Non-material amendment following grant of planning permission 53988 for: 4 No. rooflights to single storey rear extension; 1 No. rooflight to rear elevation of main roof; Amend approved folding doors on rear elevation to 1 no. door and 1 no. window
Minor changes to ground floor internal walls - Approved 04/10/2011

54483 - Alterations to boundary wall fronting Bolton Road to include railings, electrically operated sliding gate, and the creation of a new vehicular access - Approved with Conditions 09/11/2011

54834 - Single storey annex at rear - Withdrawn by Applicant 23/02/2012

12/0065 - Section 215 Notice served on 12/03/12 taking effect from 15/04/12 requiring, within 90 days, works commence to make good the gable wall and roof to 498 Bolton Road and the tidying of the site at 496 Bolton Road. These works have now commenced.

Publicity

30 notification letters were sent to addresses at 484-506, 487-505 Bolton Road, 19-31 Kenmore Avenue, 26 Windsor Drive. Further notification letters were sent out on 22/05/12 in respect of revised plans. 11 responses have been received from addresses at 484, 493, 491, 494, 498, 499 Bolton Road and 19, 21, 23, 25, 27 Kenmore Ave. Their concerns in summary are:-

- There should be two applications one for the demolition and one for the intended development.
- The demolition was illegal.

- The applicant has benefited by demolishing the property without permission and now has the opportunity to build a detached property.
- 496 should be rebuilt as a semi detached with the extensions.
- The proposal will create a large detached house that will detract from the character of the neighbouring semi-detached properties.
- The new property will be closer to 494 Bolton Road and affect the amount of daylight and sunlight to the house and garden.
- Impact on light and privacy to 498 Bolton Road.
- Harm to the outlook to 494 Bolton Road from the height and length of the proposal where there were previously trees and hedges.
- Disturbance and possible encroachment to 494 Bolton Road during construction.
- Proximity to the properties to the rear on Kenmor Ave and potential loss of light.
- The design and access statement refers to a home office within the property which may mean a business operating from the property to the detriment of the neighbouring properties.
- Inaccuracies and lack of dimensions on the plans.
- There is a current dispute as to the boundary line between 498 and 496 therefore the newbuild could not take place.
- The lowering of 496 will require underpinning to the property and 498 Bolton Road and this is not shown on the plans.
- The impact on the value of properties in the vicinity the demolition works have had.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objections subject to conditions for relating to turning facilities and gates.

Borough Engineer (Drainage Section) - No comments received.

Environmental Health Contaminated Land - No objection subject to conditions relating to contaminated land.

Greater Manchester Police (designforsecurity) - No objections.

Unitary Development Plan and Policies

H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN7	Pollution Control
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury

Issues and Analysis

Principle - The area is residential and there was a house on the site previously and as such the proposal is acceptable in principle.

Visual amenity and design - The new dwelling would have a significantly larger footprint than the original semi which had approval for extensions of a similar size to the proposed new dwelling. The principal difference being the single storey element to the rear is now 2m deeper.

The plot is of a size that can accommodate the dwelling whilst providing adequate amenity space and off street parking.

The new house would be of a similar height to the adjacent properties with a hipped roof and full height front bay windows with the materials a mix of render and brickwork. The design and materials are considered appropriate and in keeping with the character of the area.

There would be a gap to the front between the former semis of 1.5m and a minimum gap of

1.5m to the opposite side adjacent No.494. When viewed in the street this would be sufficient for there not to be a terracing effect being created which would be out of character with the area.

The front boundary would be in the form of a wall with railings on top to a height of 1.5m which would be in keeping with existing front boundaries along the road.

The proposed dwelling would be in accordance with Policies H2/1 and H2/2 of the adopted Unitary Development Plan.

Residential amenity - Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties (SPD6) sets out criteria that should be complied with in order that proposals do not cause any significant overshadowing, loss of light or privacy to neighbouring properties.

The new property would be two storey with a single storey part to the rear. The two storey rear elevation would be level with that of the former attached property with the single storey part projecting less than 3m from their single storey extension.

No.494, the other adjacent neighbour, has been extended two storey and single storey at the side and the proposal would comply with the 45 degree rule of SPD6 in relation to this property.

No.494 does have one ground floor side window, however it is a secondary window within an extension which is not on the principle elevation and therefore no weight can be given to this.

There would be a distance of 21m to the properties to the rear which exceeds the 20m distance within SPD6 for directly facing habitable rooms windows.

The land also slopes up towards the properties to the rear and the new property would be built at a lower level than the previous property.

Given the significant increase in the size of the proposed dwelling over the original semi detached property and its proximity to adjacent properties it is recommended that permitted development rights are removed in order to control any further extensions or alterations on the property.

With this condition the proposal would comply with SPD6 - Alterations and Extensions to Residential Properties.

Highways Issues - SPD11 - Parking Standard gives a maximum car parking provision of 3 spaces for 4 bedroom properties and above.

The proposal would provide a new vehicular access with a pervious hardstanding providing off street parking for at least two cars. The site is also within a high access public transport area.

The proposed development would comply with UDP Policy HT2/4 and SPD11.

Response to objectors - The issues regarding the scale, design impact on the area and neighbouring properties are covered in the above report.

The demolition and proposed development have been submitted as one application and are assessed as such.

Illegal demolition is dealt with under separate regulations.

There can be no requirement for the original permission to be carried out. Applicants are entitled to submit planning applications for a scheme and have it assessed and determined. This application is for a residential property and would not give approval for any business use.

Inaccuracies on the plans were corrected and further neighbour notification letters sent out. Any requirement for underpinning would not need to be indicated on the plans as it is not part of the assessment of the planning application.

Disturbance during construction, boundary disputes, encroachment and property values are not planning matters.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows:-

The proposed development would be acceptable in principle and would not have an adverse impact upon the amenity of the neighbouring properties. The proposed development would not be unduly prominent in the streetscene nor would it be detrimental to highway safety.

There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered kh5-01, kh5-02B, kh5-03B, kh5-04B, kh5-05B, kh5-06A, kh5-07B and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) Order 1995, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the prior written consent of the Local Planning Authority.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National

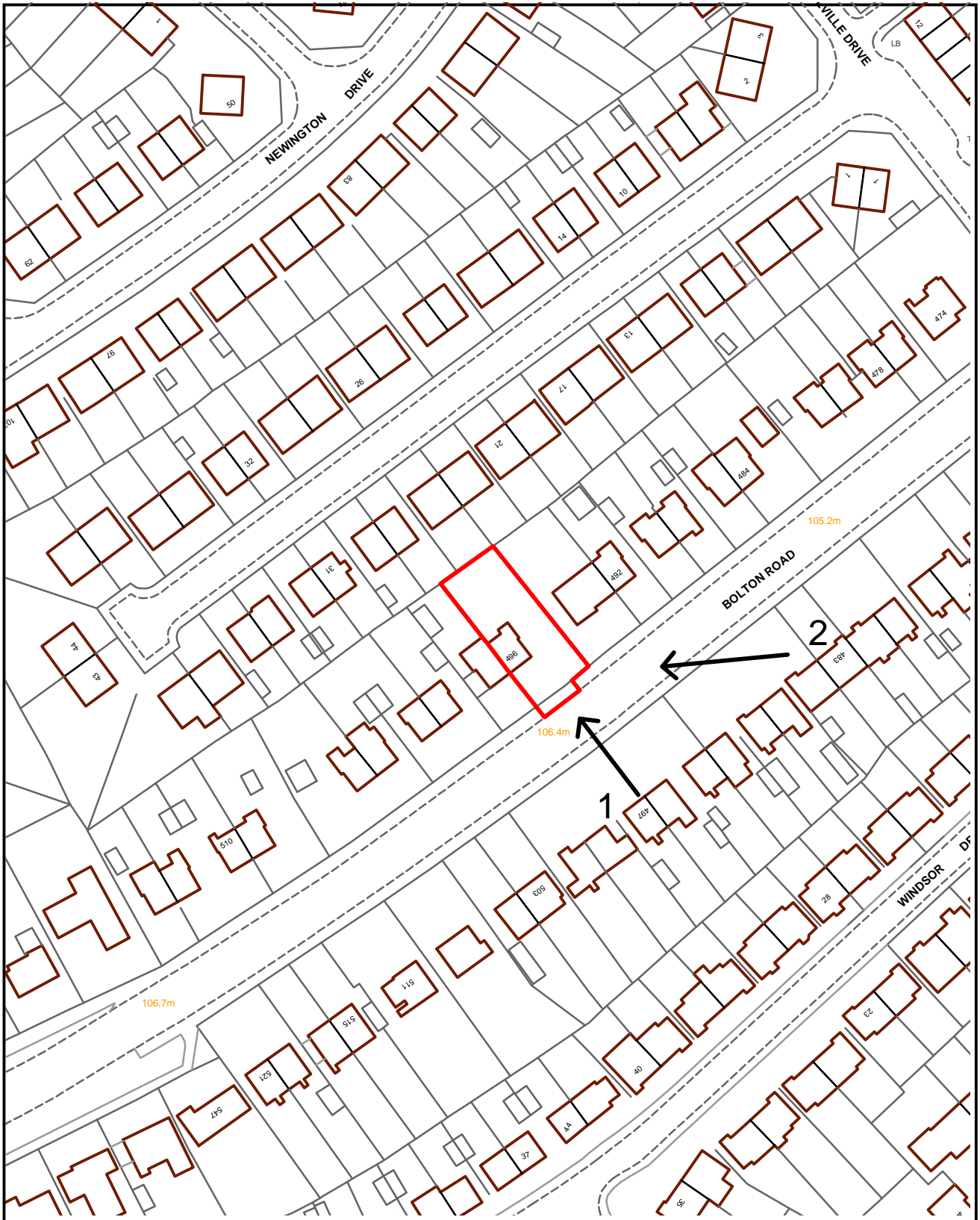
Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. The proposed sliding gate shall be automatically operated as indicated on approved plan reference kh05-02 and thereafter maintained as such at all times whilst it remains on the site as a means of enclosure.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

7. The turning facilities and rebuilt/extended brick wall indicated on approved plan reference kh05-02 shall be provided prior to the dwelling hereby approved being occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing of vehicles on the highway in the interests of road safety and to ensure that the parking and turning facilities are used in the form proposed pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

For further information on the application please contact **Jane Langan** on **0161 253 5316**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 55103

**ADDRESS: 496 Bolton Road
Bury**



Planning, Environmental and Regulatory Services 1:1250

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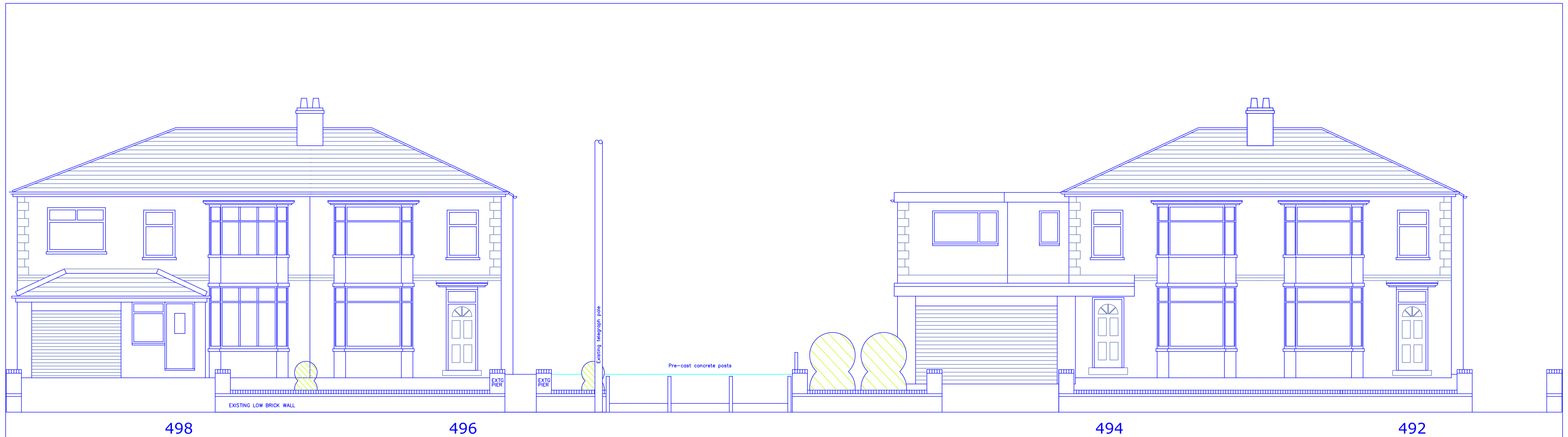
55103

Photo 1



Photo 2





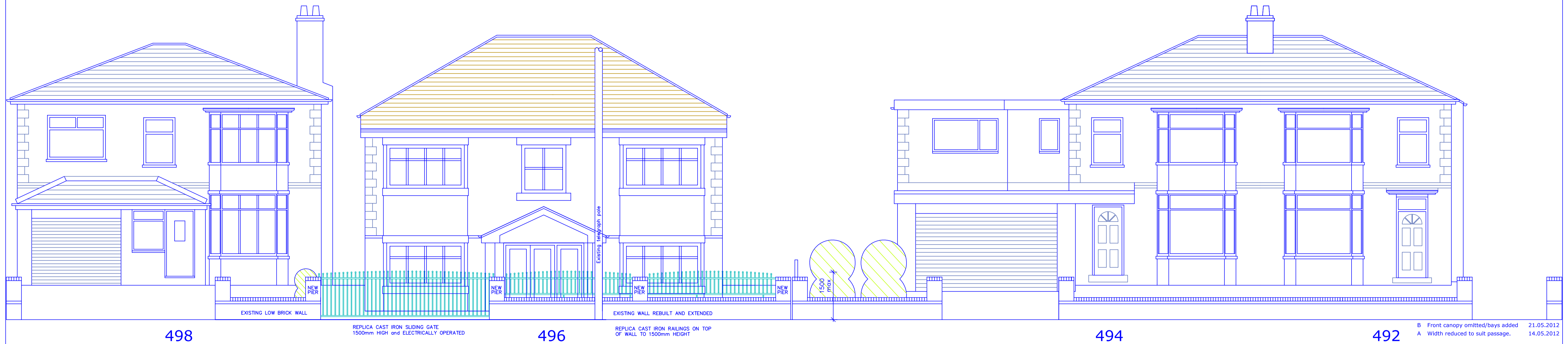
498

496

494

492

EXISTING STREET ELEVATION ALONG BOLTON ROAD



498

REPLICA CAST IRON SLIDING GATE
1500mm HIGH and ELECTRICALLY OPERATED

496

EXISTING WALL REBUILT AND EXTENDED
REPLICA CAST IRON RAILINGS ON TOP
OF WALL TO 1500mm HEIGHT

494

492

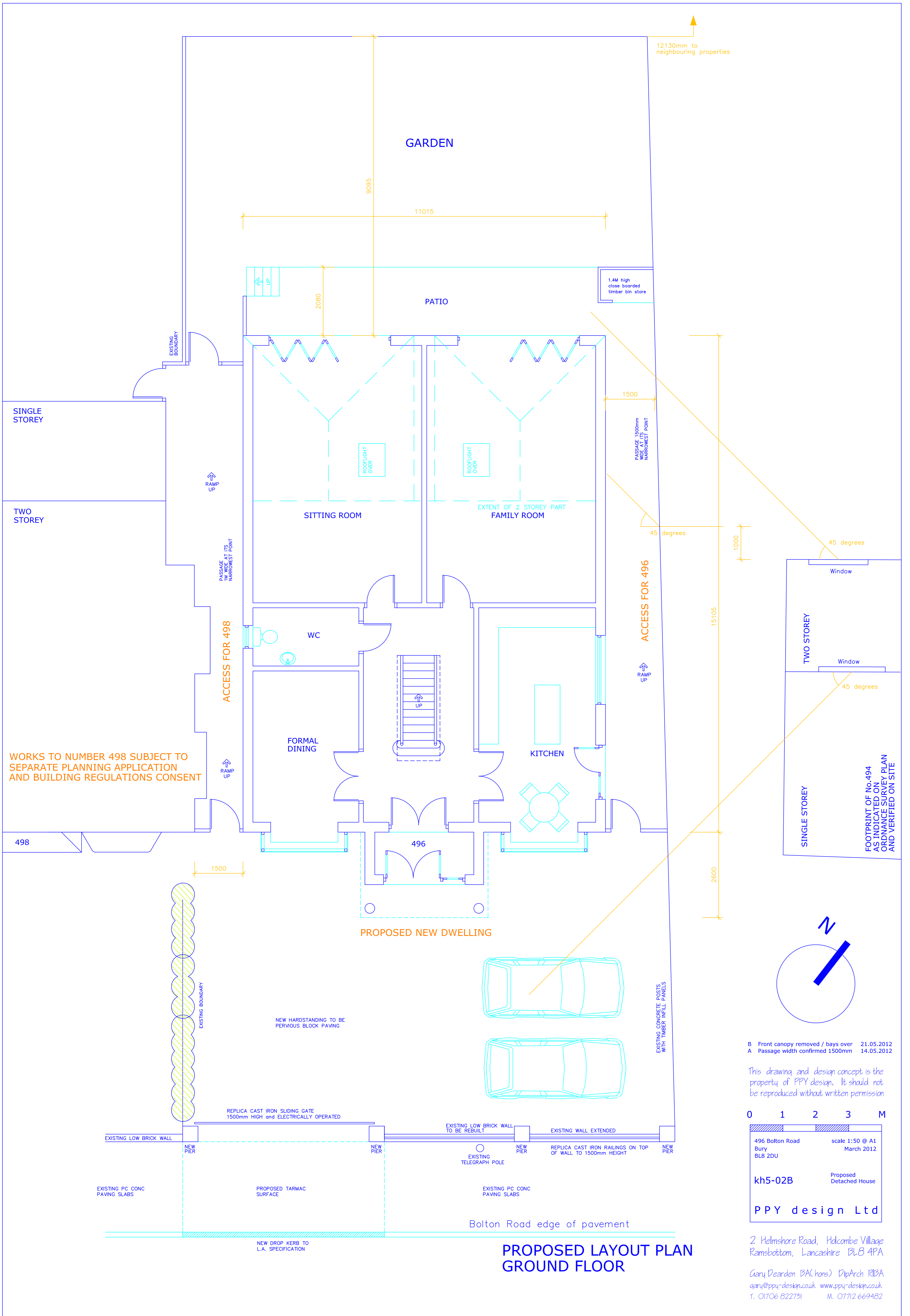
PROPOSED STREET ELEVATION ALONG BOLTON ROAD

B Front canopy omitted/bays added 21.05.2012
A Width reduced to suit passage. 14.05.2012

0 1 2 3 M

496 Bolton Road scale 1:60 @ A1
Bury March 2012
BL8 2DU
kh5-07B Existing + Proposed
Street Elevations

PPY design Ltd



SINGLE STOREY

TWO STOREY

WORKS TO NUMBER 498 SUBJECT TO SEPARATE PLANNING APPLICATION AND BUILDING REGULATIONS CONSENT

498

GARDEN

11015

2080

PATIO

1.4M high close boarded timber bin store

PASSAGE 1500mm WIDE AT ITS NARROWEST POINT

ACCESS FOR 496

12130mm to neighbouring properties

SITTING ROOM

EXTENT OF 2 STOREY PART FAMILY ROOM

WC

FORMAL DINING

KITCHEN

496

PROPOSED NEW DWELLING

TWO STOREY

SINGLE STOREY

FOOTPRINT OF No.494 AS INDICATED ON ORDNANCE SURVEY PLAN AND VERIFIED ON SITE

B Front canopy removed / bays over 21.05.2012
A Passage width confirmed 1500mm 14.05.2012

This drawing and design concept is the property of PPy design. It should not be reproduced without written permission

0 1 2 3 M

496 Bolton Road
Bury
BL8 2DU

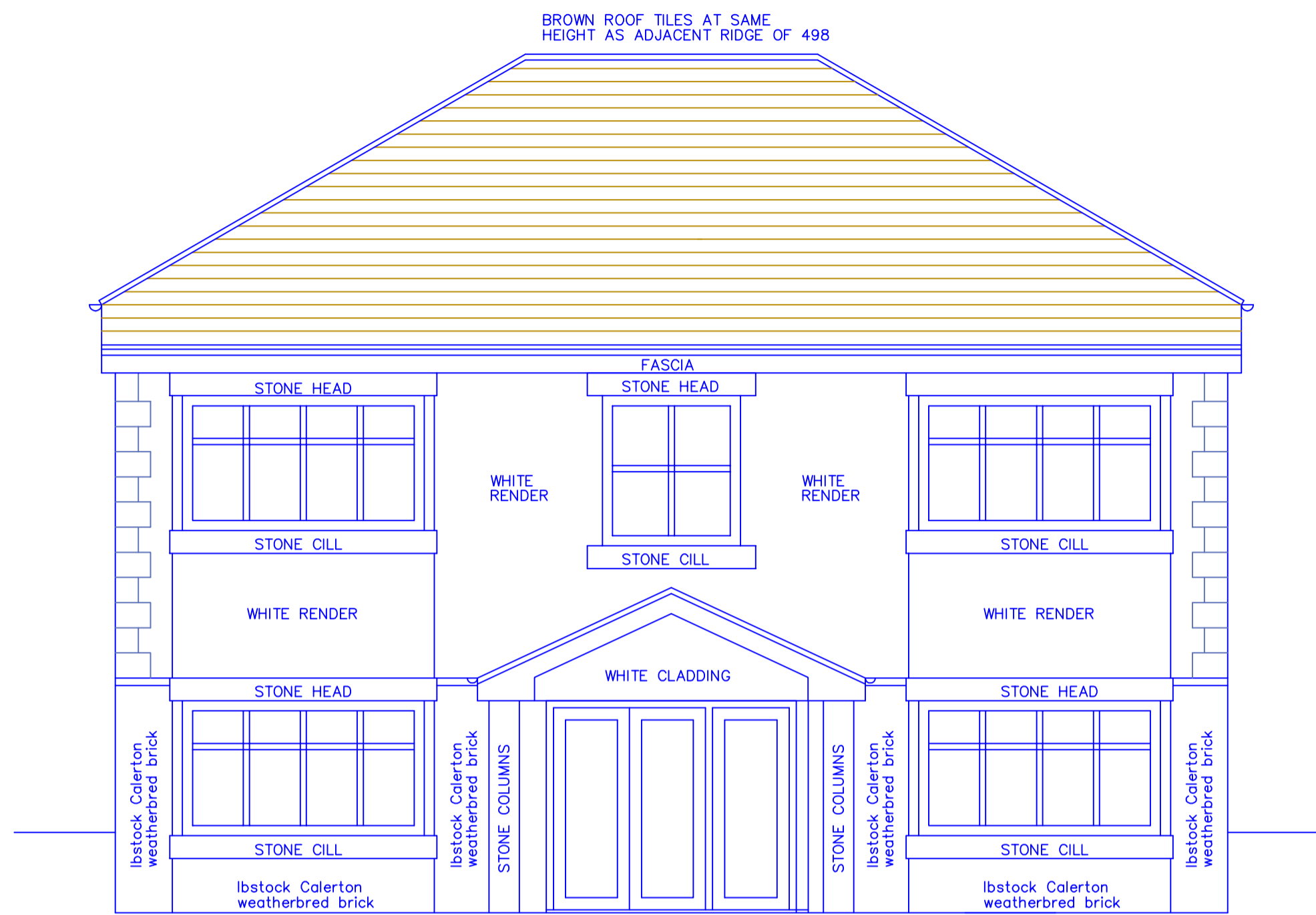
scale 1:50 @ A1
March 2012

kh5-02B
Proposed Detached House

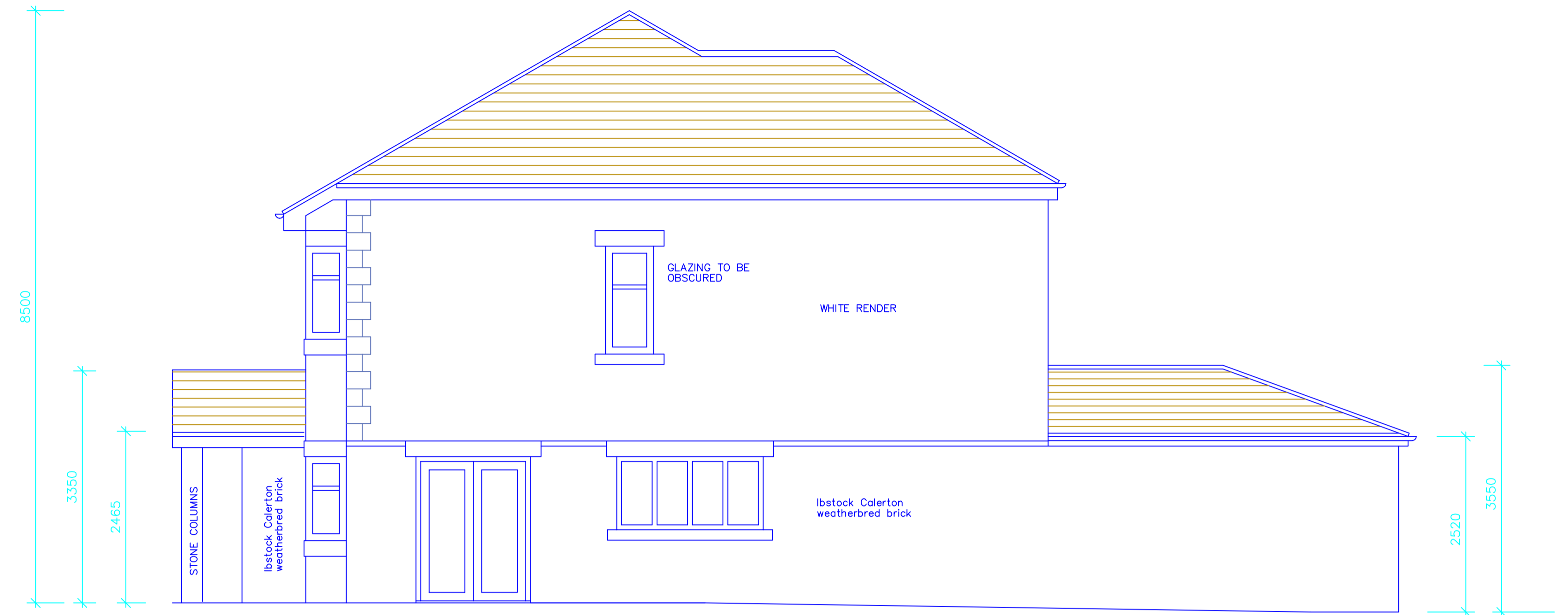
PPY design Ltd

2 Helmshore Road, Holcombe Village
Ramsbottom, Lancashire BL8 4PA

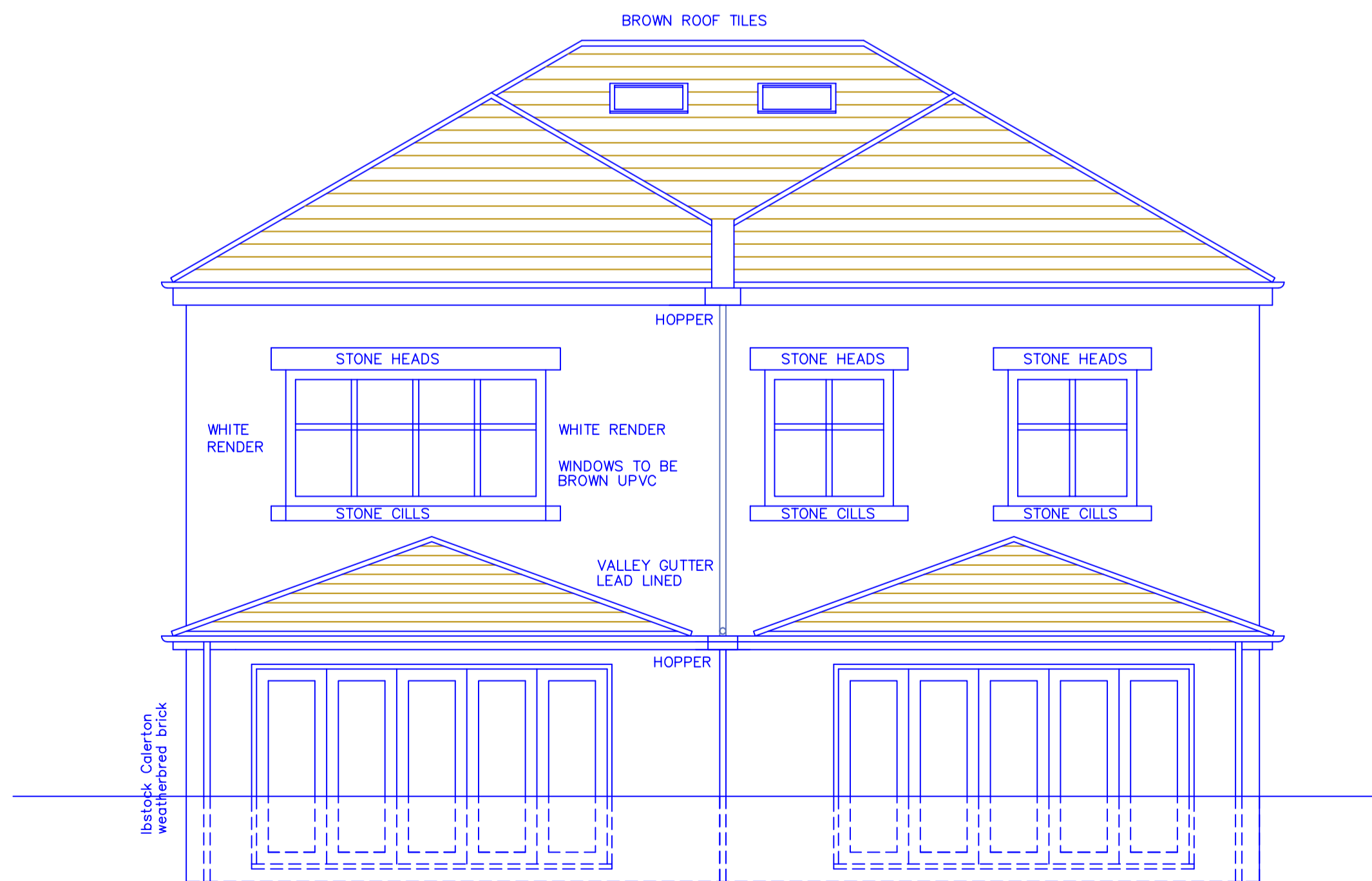
Gary Dearden BAC(hons) DipArch RIBA
gary@ppy-design.co.uk www.ppy-design.co.uk
t. 01706 822731 M. 07712 669482



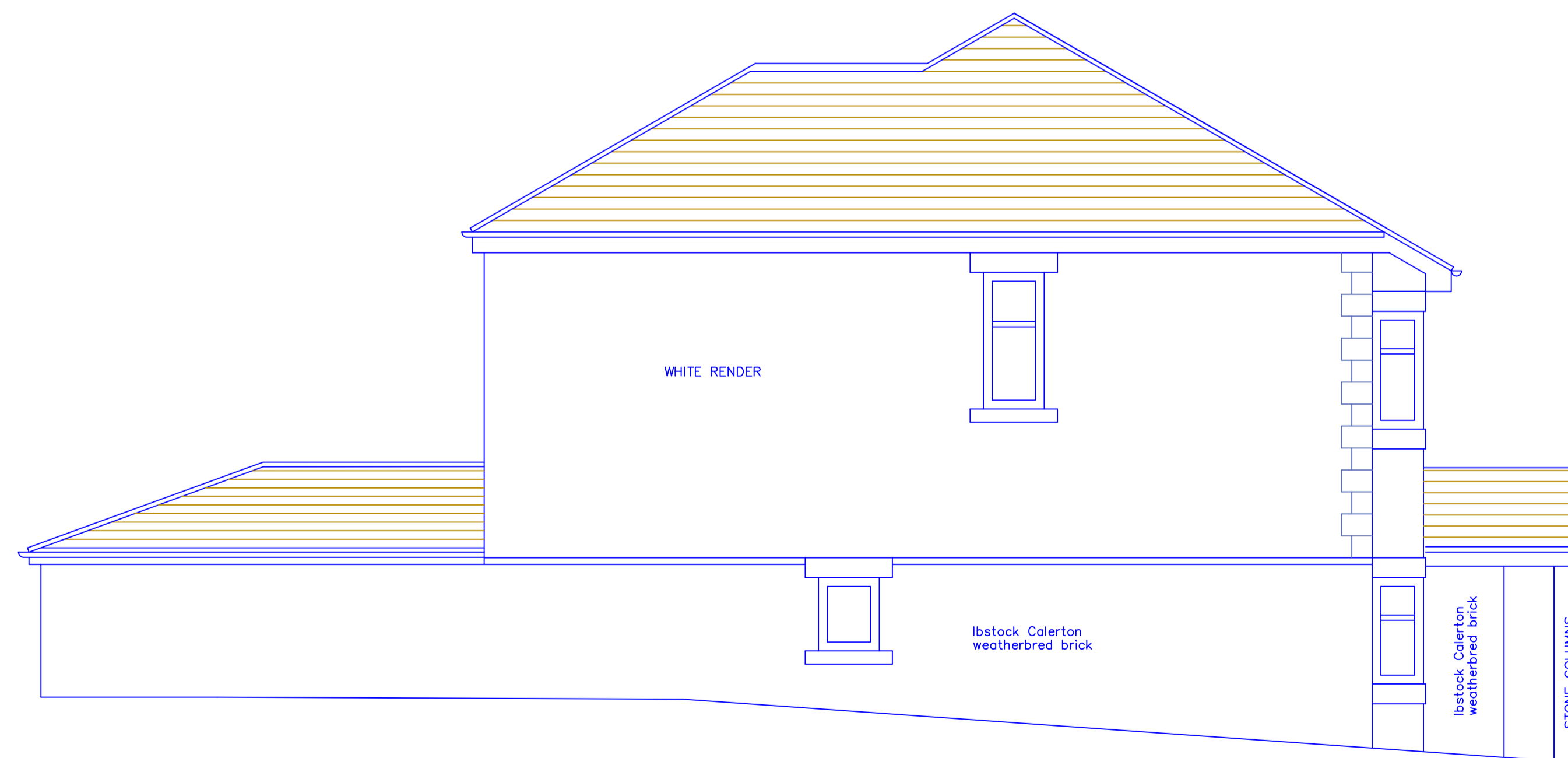
PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

B Front canopy removed/bays added 21.05.2012
 A Width reduced to suit passage. 14.05.2012

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0 1 2 3 M

496 Bolton Road Bury BL8 2DU	scale 1:50 @ A1 March 2012
kh5-05B	Proposed Elevations
PPY design Ltd	

2 Helmshore Road, Holcombe Village
 Ramsbottom, Lancashire BL8 4PA

Gary Dearden BAC(hons) DipArch RIBA
 gary@ppy-design.co.uk www.ppy-design.co.uk
 T. 01706 822751 M. 07712 669482

Ward: Bury West - Church

Item 03

Applicant: Mr K Hayat

Location: 498 Bolton Road, Bury, BL8 2DU

Proposal: Construction of outer leaf of masonry over original party wall; Remodelling of roof to form a hip; Creation of new passageway between dwellings following demolition of adjacent semi-detached dwelling

Application Ref: 55134/Full

Target Date: 26/06/2012

Recommendation: Approve with Conditions

The Committee resolved to carry out a site visit on 17th July 2012 prior to determining this application.

Description

The property is a two storey bay fronted semi detached house. The adjoining property has been demolished and this application proposes the rebuilding of the party wall and remodelling of the roof to form a detached house. A 1m-1.5m passage between 498 and 496 would remain providing rear access to 498.

The application has been submitted by the same agent dealing with a separate application on the adjacent land of the former No.496 for a detached property. Certificate B has been completed and Notice No.1 served on the owners of No.498.

Relevant Planning History

12/0065 - Section 215 Notice served on 12/03/12 taking effect from 15/04/12 requiring, within 90 days, works commence to make good the gable wall and roof to 498 Bolton Road and the tidying of the site at 496 Bolton Road. These works have now commenced.

Publicity

30 notification letters were sent on 03/05/12 to addresses at 484-506, 487-505 Bolton Road, 19-31 Kenmor Avenue, 26 Windsor Drive and a further notification sent 17/05/12 in respect of revised plans. 6 responses have been received from addresses at 493 Bolton Road, 19,21,23,25 and 27 Kenmor Avenue. The concerns in summary are:-

- Inaccuracies on the plans in regarding the proposed chimneys.
- The builders should be warned of the presence of roosting bats and nesting birds when work commences.
- This existing house may look odd as a detached.
- Has an independent structural surveyor been consulted as to the stability of converting to a detached.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objections.

Borough Engineer - Drainage Section - No comments received.

Environmental Health (Contam Land/ Air Quality) - No objection.

Wildlife Officer - Recommends an informative regarding bats.

Unitary Development Plan and Policies

H2/3 Extensions and Alterations

SPD6 Supplementary Planning Document 6: Alterations & Extensions

Issues and Analysis

Visual amenity and design – The new roof would be a hipped design and in a slate to match the existing. The new side wall would incorporate two chimneys and the materials brickwork and render to match with brick quoin detail to the front to match that to the opposite side. This will give a balance to the appearance of the property and as such the proposal to form a detached dwelling is considered acceptable in design and materials.

Residential amenity – The rebuilding of the wall and remodelling of the roof would not have any serious impact on the amenity of any neighbouring properties.

Period of consent - Given the nature of the application it is appropriate for a condition for development to be begun within one year.

Response to objections – As covered in the above report the design of the property is considered acceptable.

Structural stability is not part of the determination of this application and a Building Regulations application has been deposited.

The plans have been revised to show the chimney positions.

An informative is added regarding bats.

The proposal would comply with UDP Policy H2/3 and SPD6 – Alterations and Extensions to Residential Properties.

Summary of reasons for Recommendation

This application was determined having regard to Policy H2/3 “Alterations and Extensions” of the Bury Unitary Development Plan and Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties. Planning permission has been granted because the proposals accord with the policy and guidance in that the design is of an acceptable standard which would not adversely affect the character of the area nor the amenity of nearby residents, and would not adversely impact on highway safety issues. There are no other material planning considerations that outweigh this finding.

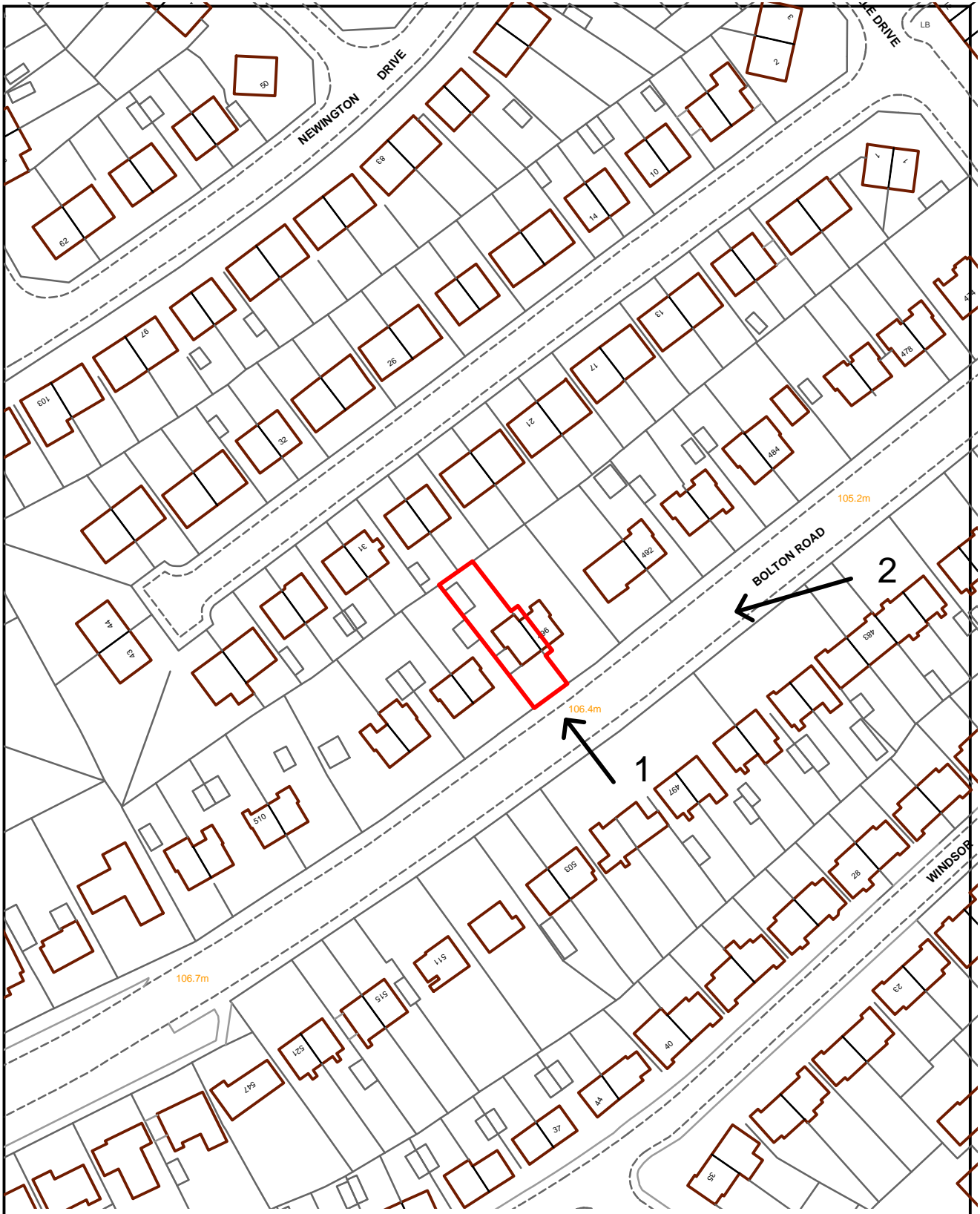
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than one year beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered rm-01, rm-03, rm-02A, rm-04A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external finishing materials for the proposal hereby approved shall match those of the existing building.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy H2/3 - Extensions and Alterations of the Bury Unitary Development Plan and Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties.

For further information on the application please contact **Jane Langan** on **0161 253 5316**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 55134

**ADDRESS: 498 Bolton Road
Bury**

Planning, Environmental and Regulatory Services 1:1250

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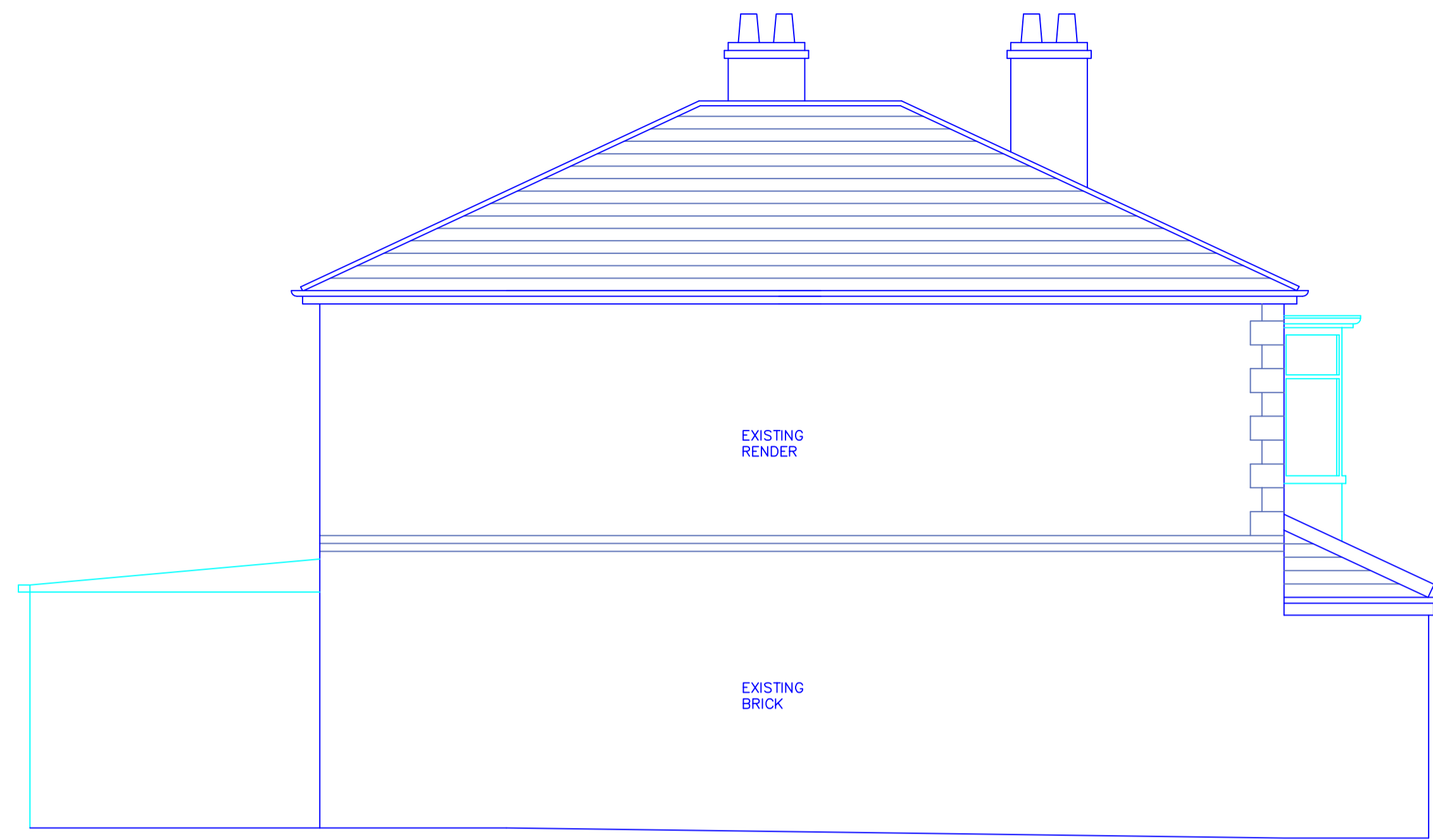
55134

Photo 1

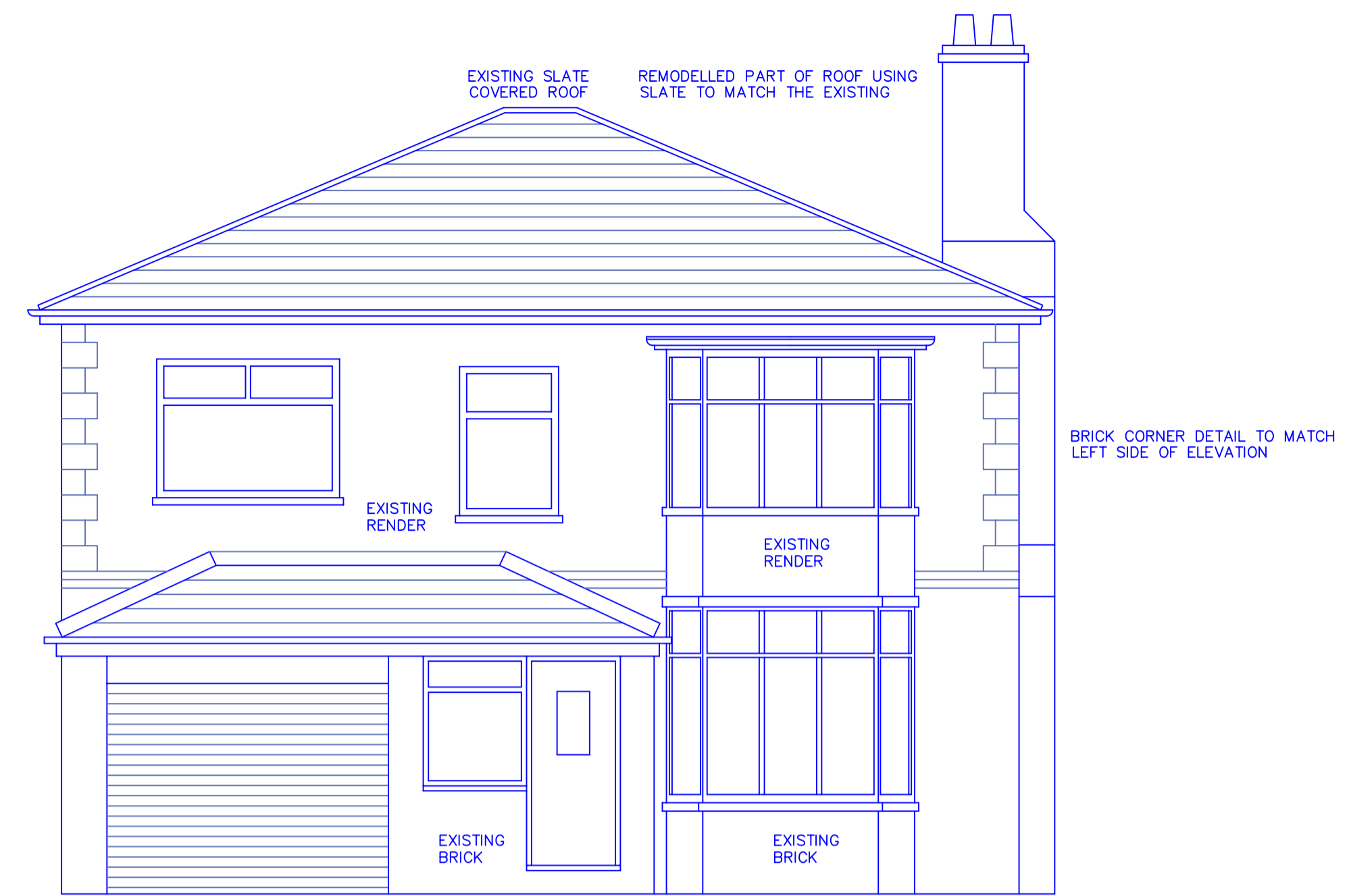


Photo 2

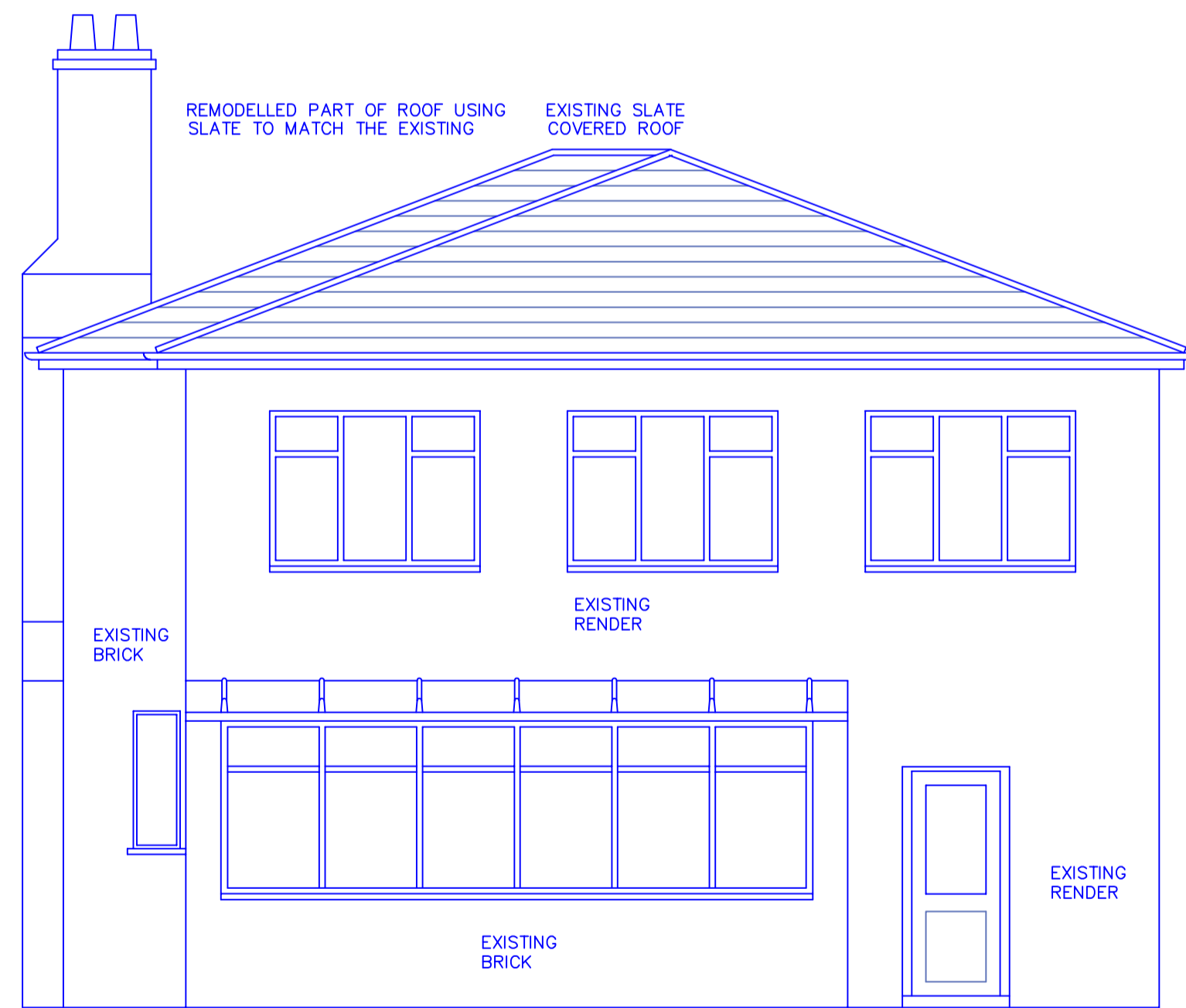




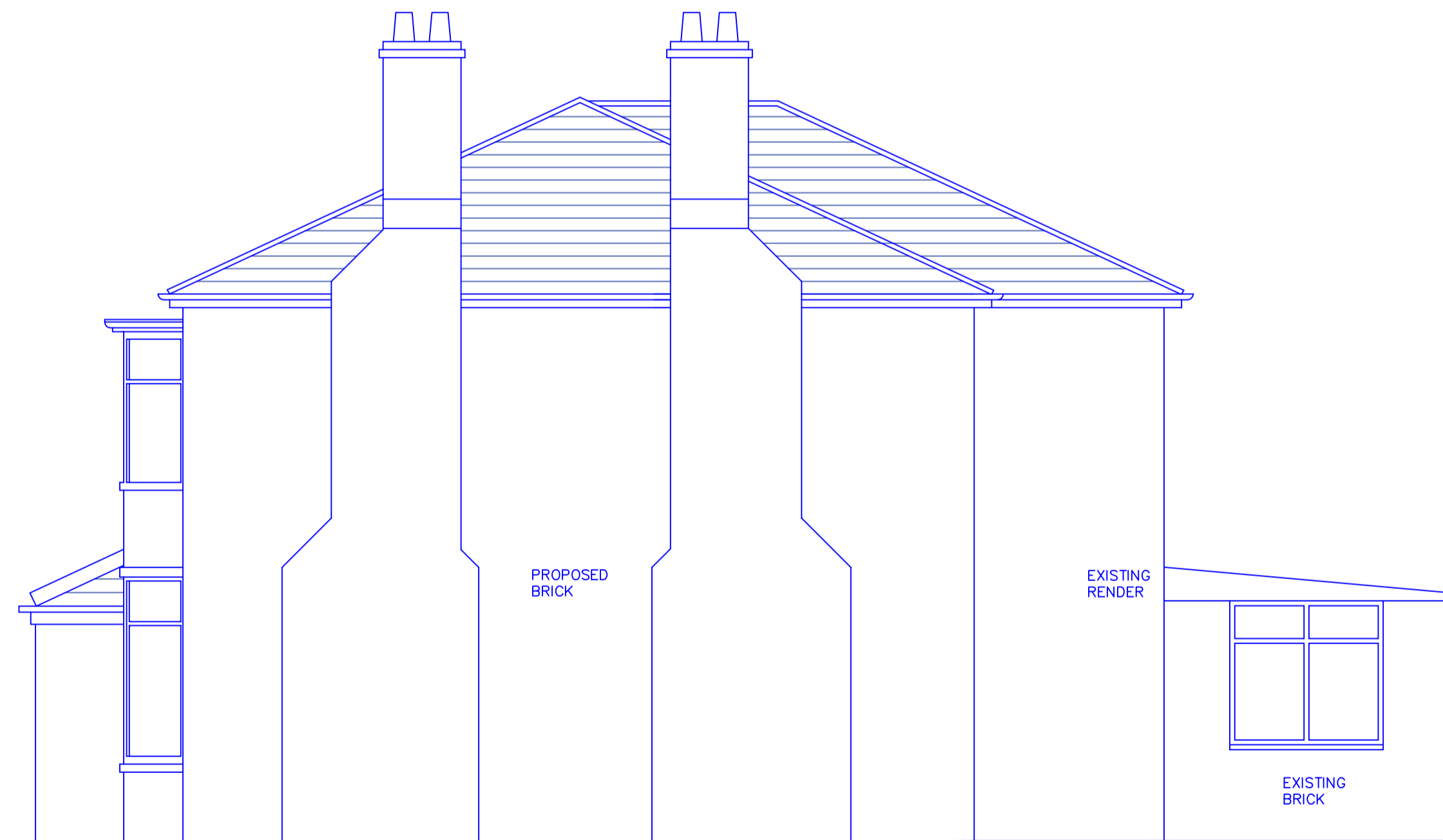
PROPOSED SIDE ELEVATION
NO CHANGE



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED NEW SIDE ELEVATION

A Chimneys shown 15.05.2012

This drawing and design concept is the property of PPY design. It should not be reproduced without written permission

0 1 2 3 M

498 Bolton Road Bury BL8 2DU	scale 1:50 @ A1 March 2012
rm-04A	Proposed Elevations Number 498
PPY design Ltd	

2 Helmshore Road, Hdcombe Village
Ramsbottom, Lancashire BL8 4PA

Gary Dearden (BA(hons) DipArch RIBA)
gary@ppy-design.co.uk www.ppy-design.co.uk
T. 01706 822731 M. 07712 669482

Ward: Bury East - Redvales

Item 04

Applicant: Mr Silash Patel

Location: 39 Redvales Road, Bury, BL9 9PU

Proposal: First floor extension at side; Single storey extension at rear (Resubmission of 54314).

Application Ref: 55106/Full

Target Date: 19/06/2012

Recommendation: Approve with Conditions

The Committee resolved to carry out a site visit on 17th July 2012 prior to determining this application.

Description

The property is an off-license shop and convenience store. It is located at the end of a short row of two storey terraced shops, set back from the highway in front by a forecourt. There is an existing single storey extension to the side of the building and to the rear there is a small single storey extension and also a wooden lean-to structure. The rear yard is triangular in shape with 2m high fences to each boundary. However, the fence along the boundary with the attached property is dilapidated. The attached property is also a shop and there is a bay window with patio doors close to the boundary with site. This projects approximately 600mm from the rear wall of the main building.

Properties adjacent on Windermere Drive are approximately one storey lower than the ground level on site. Number 41 Redvales Road has a single storey rear extension close to the boundary at the side of site with patio doors to the ground floor and a bathroom window above. Number 3 Windermere Drive is situated to the south west of site and has various windows in the rear elevation which look towards the site as well as a single storey kitchen extension.

The proposal is to build a single storey extension at the rear of the building and a first floor extension over the existing single storey side extension. The single storey rear extension would project 3.6m from the rear wall close to the boundary with the attached property and would measure 5.4m wide. The extension would project 700mm from the rear wall of the existing single storey extension on the rear of this shop and the air conditioning units would remain in situ. The extension would have a mono pitch roof and would not have any windows in the elevations.

The first floor side extension would project 2.2m and would measure 7.7m wide. It would be built flush to the existing front wall but would be set back from the rear wall by 2m. The roof would be hipped to match the existing roof. There would be a bedroom window to the front and rear elevations only.

Relevant Planning History

- 33822/97 - Single storey side extension - Approved with conditions 05.02.98.
- 37608/01 - Single storey rear extension - Refused at committee 07.09.01.
- 38404/01 - Single storey rear extension - Refused at committee 25.01.02.
- 54314 - First Floor extension at side/Single Storey extension at rear - Refused 09.09.11.
- 54314 - First Floor extension at side/Single Storey extension at rear - Appeal dismissed on 14.02.12.
- 01055/E - Extensions - Pre-application enquiry completed 17/04/2012. This enquiry resulted in this application being submitted following amendments to the previous scheme in terms of the size and position of the extensions.

It should be noted that applications referenced 37608/01, 38404/01 and 54314 were virtually identical proposals and it wasn't until extensive discussions in the subsequent pre-application enquiry ref 01055/E that any changes were made prior to the current proposal being submitted.

Publicity

Neighbours at numbers 1, 3, 5, 7 & 9 Windermere Drive. 33, 33B, 35, 37 & 41 Redvales Road were notified by letter on 26th April 2012.

Two letters of support was received from the occupiers of 52 Coniston Drive and 7 Read Close. Five emails of support were also sent in from the occupiers of 4, 5 & 9 Windermere Drive, 2 Whelan Close and 35 Percy Street.

They commented as follows:

- It would provide them with full time employment.
- It would provide more produce and choice for customers.
- It will provide the local community with improved local shopping.
- It would support local people with more choice of goods.
- All the applicant is trying to do is build a good business for his family.
- The extensions would not cause any disruption to views from their property.

One objection was received from the occupier of 3 Windermere Drive giving the reasons below:

- It would be overbearing, it is congested now.
- It would be overbuilding, enough is enough.
- It would overshadow us - We need light.
- It would be intolerable and claustrophobic, it is too close to their property.
- It would overlook their property.

The respondents have been notified of the Planning Control Committee.

Consultations

United Utilities - No objections.

Unitary Development Plan and Policies

EC4/1	Small Businesses
EN1/2	Townscape and Built Design
S1/5	Neighbourhood Centres and Local Shops
EN6/3	Features of Ecological Value
NPPF	National Planning Policy Framework
S2/1	All New Retail Proposals: Assessment Criteria
SPD6	Supplementary Planning Document 6: Alterations & Extensions
H2/3	Extensions and Alterations

Issues and Analysis

The main considerations of this application are the impact of the proposal on visual and residential amenity.

Visual Amenity - The proposed first floor side extension would be built using materials that would match the existing property. It would have a hipped roof reflecting the original design of the property. The overall scale of the extensions would be appropriate to the original building and would not result in the site appearing over developed. The proposed extension would blend well with the existing building and would not appear out of character in the existing street scene.

The proposed single storey extension at the rear would also be built with materials that would match the existing property resulting in a structure which should blend well with the original building. It would only be visible from the rear of surrounding properties. From

ground floor level of properties along Windermere Drive to the side/rear of site it is possible that only the roof section of the single storey extension would be visible from site along with the proposed first floor extension. As such there might be some impact on visual amenity but it would not be enough to warrant a refusal. Given the above the proposal conforms to Bury UDP Policies EN1/2 - Townscape and Built Design, S2/1 - All new Retail Proposal : Assessment Criteria and EC4/1 - Small Businesses.

Residential Amenity - At the rear the first floor extension would be set back by 2m from the existing rear wall meaning it would not be as over bearing to properties at the rear than it would have done if it would have been built flush with the existing rear wall of the property. This means that it would not overshadow the rear elevation of 41 Redvales Road, adjacent. The proposed extension at the side would not have any more of an effect on light to the rear of number 41 Redvales Road than the existing property does already and the single storey extension at the rear would be built 3.8m from the boundary with this particular neighbour. Therefore although there would be some impact, there should not be any seriously detrimental effect on residential amenity at this property.

The attached property, 37 Redvales Road is also a shop and has a bay window with patio doors close to the boundary with the site. This window projects approximately 600mm from the rear wall of the shop and is a habitable living room at this property. For policies regarding residential properties there are specific aspect standards used to determine whether an extension would be approved or not. Although projecting 3.6m from the rear elevation of the shop the proposed extension would project 3m beyond the bay window, (living room), on the rear of the shop at 37 Redvales Road. This complies with the adopted guidance for single storey rear extensions and as such would be acceptable.

With regards to number 5 Windermere Drive, which is the closest property on this road to the site, the proposed first floor side extension would be approximately 9.9m to the corner of the kitchen extension on the rear of this house and would not have direct views towards windows in the rear elevation of number 5. The bedroom window in the rear elevation of this extension may have some views over the rear garden of this house but this would not be any different to the views from the existing windows in the rear elevation of the property on site. The first floor extension should not have any seriously detrimental effect on light to the rear of this property as it would be built to the north so would not interfere with the direction of natural sun/daylight.

The proposed single storey extension would be at least 3.8m from the boundary with number 5 Windermere Drive and approximately 8.6m to the rear elevation of the kitchen extension on the rear of 5 Windermere Drive. There would not be any windows in the side elevation facing this neighbour and given the ground level differences much of the extension would be screened by the existing 2m high fence along the boundary. Given the distance to the rear elevation of number 5 and that it would be situated due east there should not be any significant affect on day/sun light to the rear of this neighbouring property. The proposal conforms to UDP Policy S2/1 - All new Retail Proposals : Assessment Criteria, En1/2 - Townscape and built Design, EC4/1 - Small Businesses and the requirements of Supplementary Planning Document 6 – Alterations and Extensions to Residential Properties in terms of separation distance to the surrounding properties.

Ecology - Because the property is in an area where protected species are known, a bat assessment was requested on 28th May 2012. A daylight survey took place on 29th May 2012, as well as an evening survey on the same day. The bat ecologist advised that a very low level of common Pipistrelle activity was recorded but there was no evidence of bats emerging from the building on site. No evidence of bats or nesting birds was found inside the property.

The ecologist was satisfied that the building works could carry on with a very low risk to bats and the wildlife officer has advised that the usual bat informative should be added to any approval given. This is to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological

Value of the Bury Unitary Development Plan and NPPF Section 11 - Conserving and enhancing the natural environment.

Neighbour Comments/Objection - Issues raised have been addressed in the main report.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason for granting permissions can be summarised as follows:-

This application was determined having regard to Policies EC4/1 - Small Businesses, EN1/2 - Townscape and Built Design, S2/1 - All new Retail Proposals: Assessment Criteria, EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Values.

Planning permission has been granted because the proposals accord with the policy and guidance in that the design is of an acceptable standard which would not adversely affect the character of the area nor the visual or residential amenity of nearby residents, and would not adversely impact on highway safety issues. There are no other material planning considerations that outweigh this finding. There are no other material considerations that outweigh this finding.

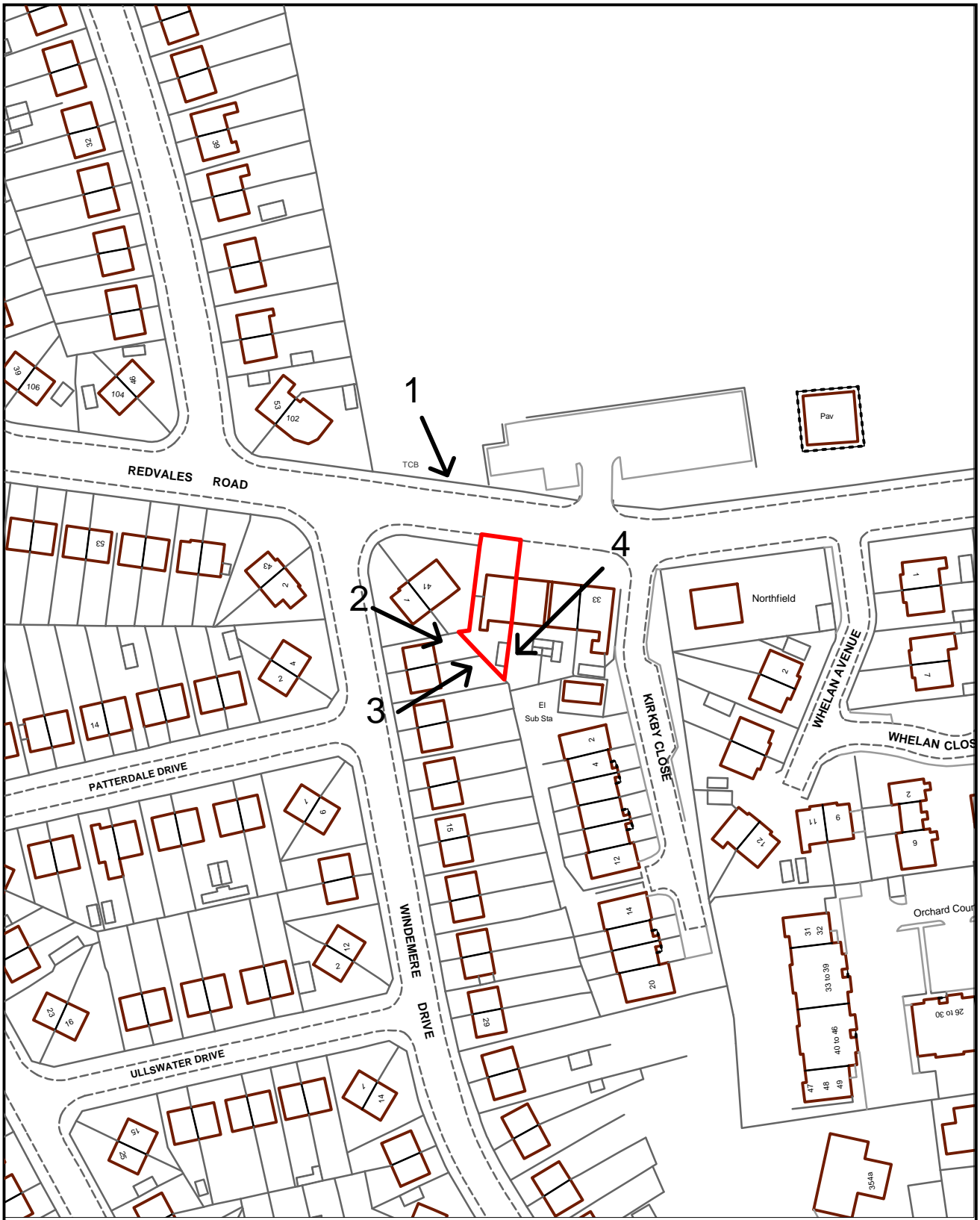
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 1A,2A & 3A received on 25.04.12 and drawing numbered 4A received on 25.05.12 as modified by the letter from Simon Jackson dated 21.05.12. The development shall not be carried out except in accordance with the details hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury UDP Policies
3. The external finishing materials for the proposal hereby approved shall match those of the existing building.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

For further information on the application please contact **Amanda Uhunmwagho** on **0161 253 5323**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 55106

**ADDRESS: 39 Redvales Road
Bury**



Planning, Environmental and Regulatory Services 1:1250

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55106

Photo 1



Photo 2



Photo 3

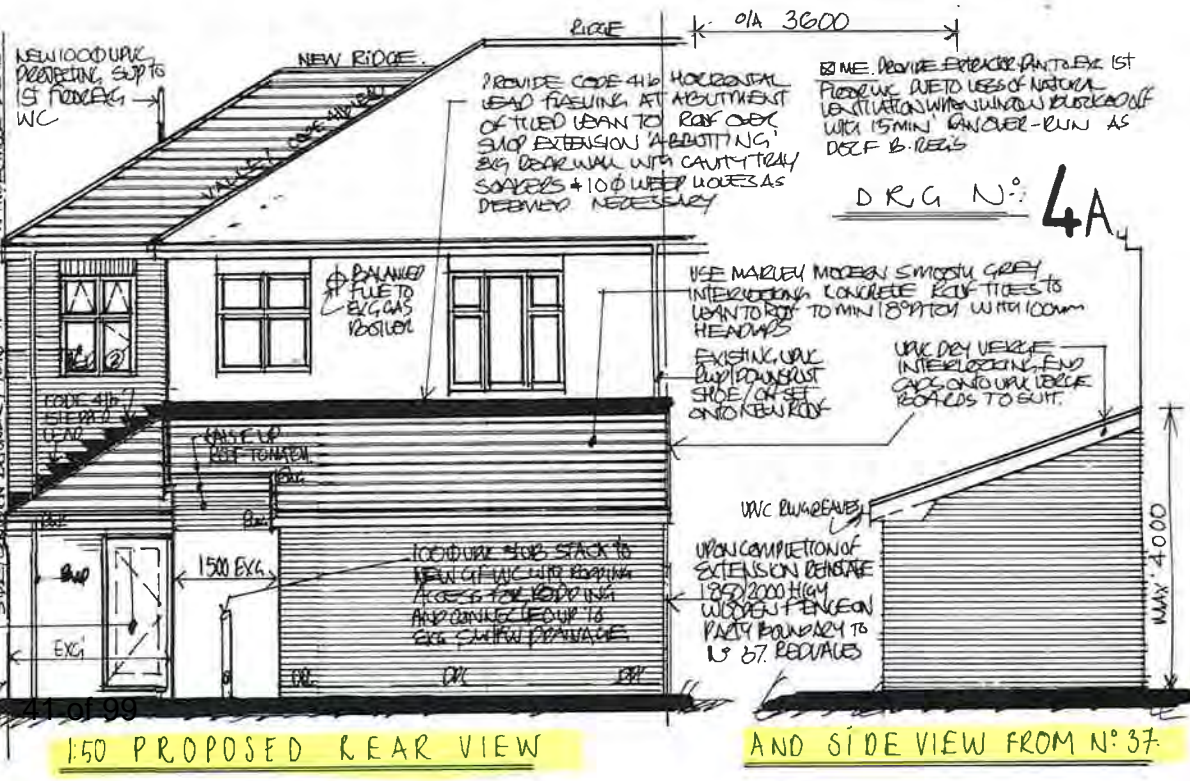
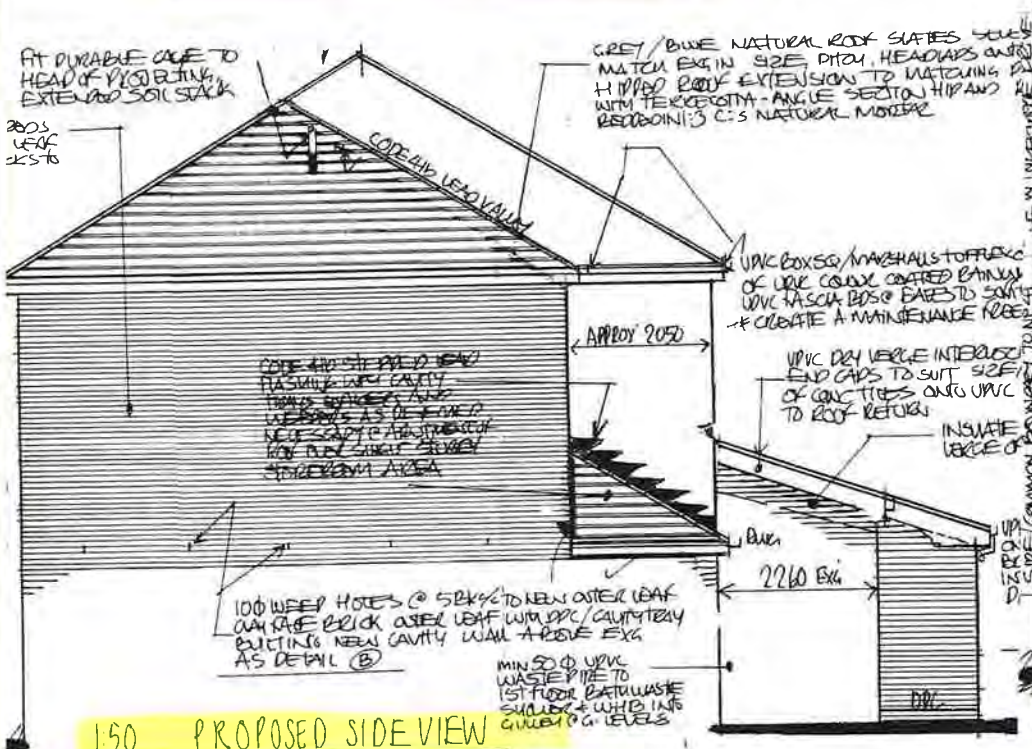
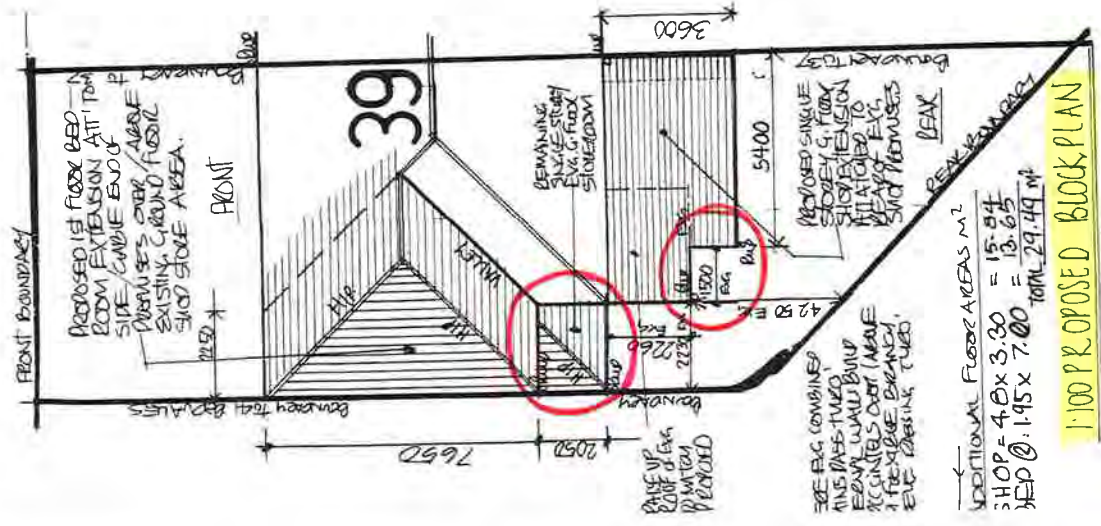
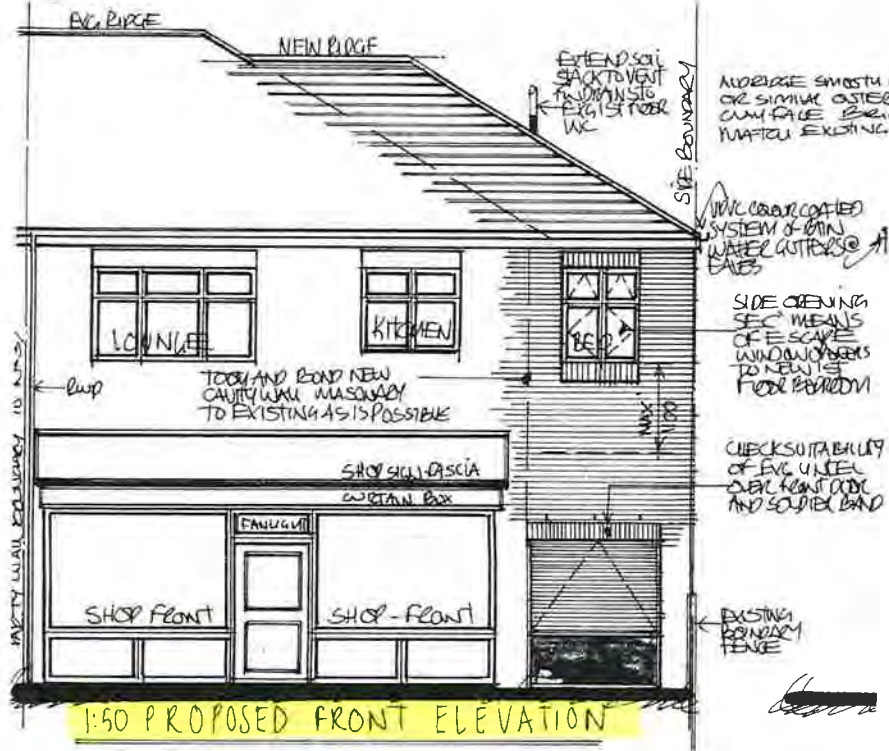


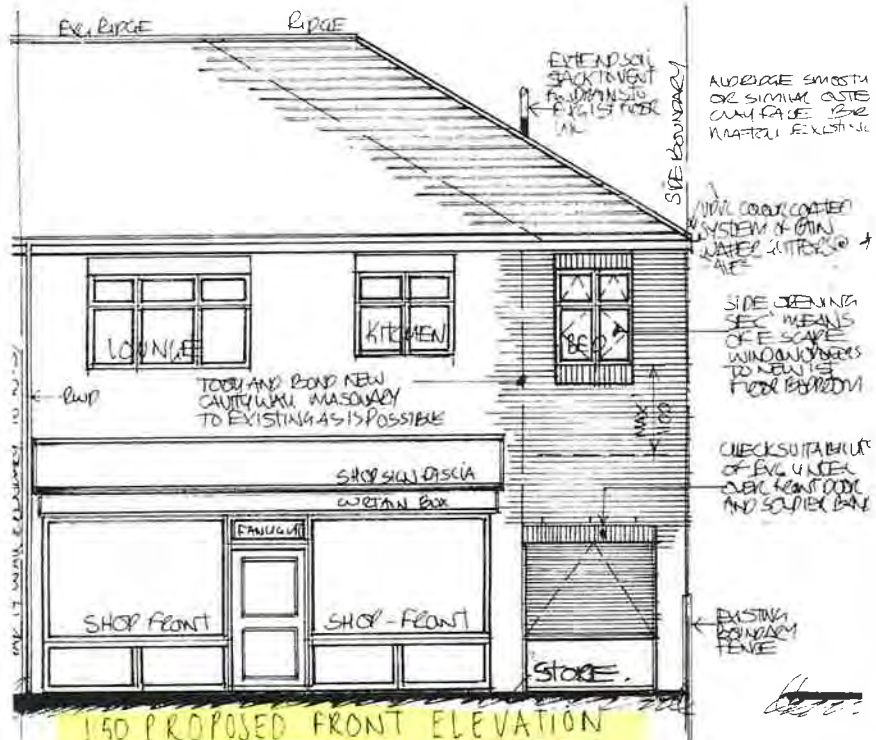
Photo 4



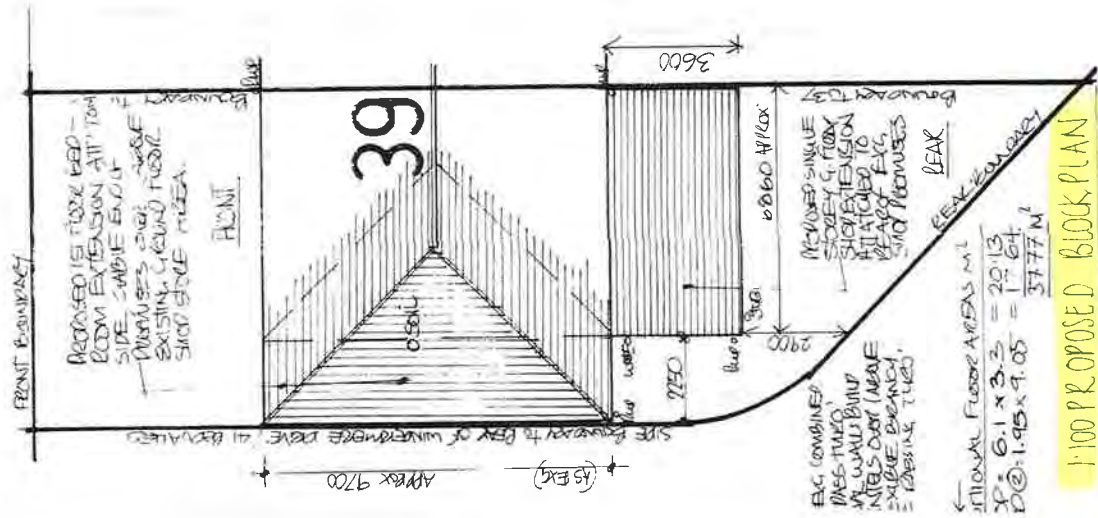
APPLICATION 55106

AREAS CIRCLED IN RED INDICATE WHERE THE PROPOSAL HAS BEEN REDUCED IN SIZE

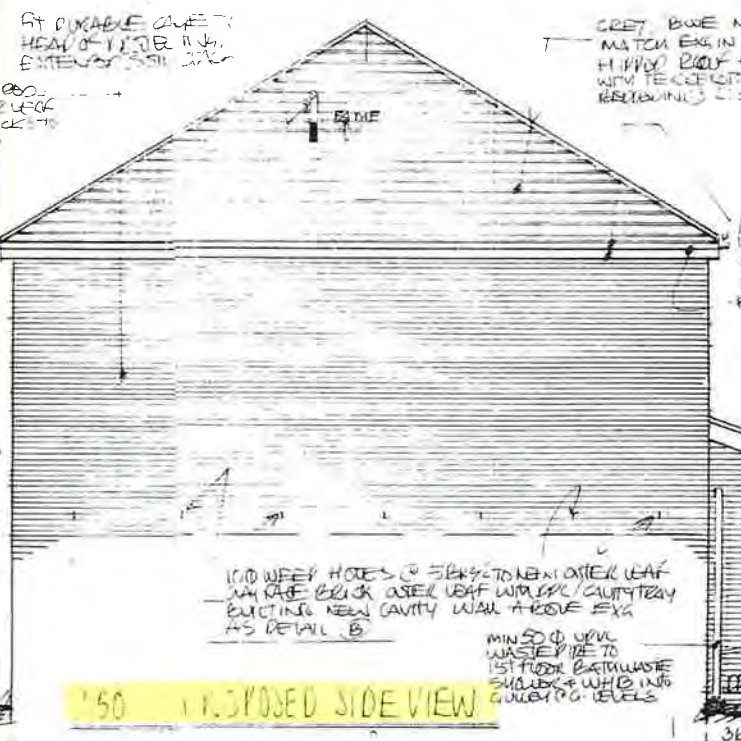




1:50 PROPOSED FRONT ELEVATION



1:100 PROPOSED BLOCK PLAN



1:50 PROPOSED SIDE VIEW



1:50 PROPOSED REAR VIEW

AND SIDE VIEW FROM N° 37

DRG N° 4

Ward: Prestwich - Sedgley

Item 05

Applicant: Europasonic Pension Scheme

Location: 118 Rectory Lane, Prestwich, Manchester, M25 1GB

Proposal: Mixed use development comprising of 2 storey building with a ground floor retail unit (Class A1) and 3 no. flats (Class C3) at first floor with associated car parking and service yard facility

Application Ref: 55170/Full

Target Date: 02/08/2012

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The site is currently vacant and contained a bakery (Swiss Cottage) until recently and is located on the south east side of the junction of Rectory Lane and Heywood Road.

There is a brick built electricity substation in the south east corner of the site and a 2 metre high palisade fencing around the site as a whole.

The site is located within a neighbourhood shopping centre and is bounded by residential dwellings to the north, east and south and there are commercial and retail premises to the west on the opposite side of the road.

The proposed development involves the erection of a single traditional style brick built and tiled roof building, containing a single retail unit at the ground floor and 3 apartments above. 9 parking spaces would be provided to the south of the site and access would be taken from Heywood Road, with a vehicular turning head provided within the site. This access would also serve the electricity substation which is to remain on the site.

Relevant Planning History

45968 - Demolition of existing bakery and erection of 3 retail units with 3 apartments above at 118 Rectory Lane, Prestwich. Withdrawn - 13 December 2006

47444 - 3 no. retail units (classes A1 or A2) with 3 no apartments above at 118 Rectory Lane, Prestwich. Withdrawn - 18 May 2007

Publicity

17 neighbouring properties (116, 120 - 124 (evens), 137 - 147 (odds) Rectory Lane; 52 - 56 (evens), 55 - 59 (odds), 60 Heywood Road) were notified by means of a letter on 8 June and site notices were posted on 11 June 2012.

A petition containing 190 signatures has been received, which objects to the proposal on the following grounds:

- The proposed development would be in direct competition with the adjacent businesses.
- The proposed development would increase anti-social behaviour.
- Impact upon traffic.
- Impact upon pedestrian safety.

5 letters have been received from the occupiers of 116, 120, 122 and 145 Rectory Lane, which have raised the following issues:

- Objecting on the grounds of highway safety at the junction.
- The traffic backs up during rush hour and the proposed development would increase this.
- Concerned about loss of privacy.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle to the development of its impact on the highway network.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of standard conditions.

Waste Management - No objections.

Design for security - Comments awaited. Further comments to be included in the Supplementary Report.

Wildlife Officer - No objections, subject to the inclusion of a condition relating to vegetation clearance.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
RT2/2	Recreation Provision in New Housing Development
S1/5	Neighbourhood Centres and Local Shops
S2/1	All New Retail Proposals: Assessment Criteria
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

Principle (Retail) - The National Planning Policy Framework (NPPF) states that planning policies should promote competitive town centre environments and define a hierarchy and network of centres, while retaining and enhancing the existing markets.

Policy S1/5 states that the Council will seek to retain retailing (Class A1) as the predominant use in neighbourhood centres to cater primarily for the day to day needs of residents and businesses.

Policy S2/2 states that the Council will support new retail proposals which are within or immediately adjacent to the main shopping area of existing centres, sustain or enhance the vitality and viability of a centre, are accessible by public transport and are in conformity with other policies and proposals of the plan.

The proposed development would provide a retail unit (Class A1) at ground floor level and would help to retain retailing as the predominant use within the neighbourhood centre. The proposed development would have a floorspace of 180 square metres, which would be below the recommended gross retail floorspace of 200 square metres for shops within a

neighbourhood centre. Therefore, the proposed retail development would be acceptable in principle and would be in accordance with Policies S1/5 and S2/2 of the Bury Unitary Development Plan and the NPPF.

Principle (Housing) - Bury's statutory housing targets are set out in the Regional Spatial Strategy for the North West (RSS) at 500 dwellings per annum between 2003 and 2021. In addition to this annual target, housing delivery in the Borough also needs to take account of the shortfall in completions in the past six years, which has only averaged around 280 per annum, mainly as a result of the prevailing housing market conditions.

Whilst the Government has indicated that it is seeking to remove RSS and its housing targets, they have not indicated when this will be done and, therefore, the RSS target remains the statutory housing target until such time as RSS is removed or it is replaced by a new target in Bury's emerging Local Plan. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up with sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring indicates that the Council is unable to demonstrate a five year supply of deliverable housing land (4.7 years with a 5% buffer applied in accordance with the NPPF) and this needs to be treated as a material factor when determining applications for residential developments.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The proposed development would provide 3 apartments at first floor level. The site is located within the urban area and is bounded by residential development to three boundaries. As such, the proposed development would not conflict with the surrounding uses. The site contained a bakery, which has been demolished and is previously developed land and the proposal is in general accordance with national and regional planning policy and will help to contribute to meeting local housing targets. Therefore, the proposed residential development is acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed building would be two storeys in height with a pitched tiled roof and would be constructed from brick with stone detailing around the windows. The proposed materials would reflect the materials found within the surrounding properties. There would be large glazing shop front panels to the proposed retail unit, which would ensure an active frontage to both Rectory Lane and Heywood Road. Therefore, the proposed development would be appropriate within the streetscene and would add to the retail character of this Neighbourhood Shopping Centre.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between

residential properties and is relevant in this case. The proposed openings to the residential units at first floor level would be located on the front elevation and there would be 22 and 24 metres between the proposed building and the properties on Rectory Lane. There would be 16 metres between the proposed building and the gable elevation of No. 56 Heywood Road, which would comply with the aspect standards.

Two windows in the eastern elevation would relate to a kitchen and bathroom (not habitable rooms) and the agent has confirmed that these two windows would be obscure glazed to prevent a loss of privacy. The proposed building would comply with the 45 degree rule, when drawn from No. 120 Rectory Lane and as such, would not result in a significant loss of light. Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Highways issues - The site is located on the junction of Heywood Road and Rectory Lane. Following concerns of the officers revised plans have been submitted indicating the forward visibility splay and these have been assessed by the Traffic Section, who have no objections in principle to the proposal or detail to the proposal.

The proposed development would provide a turning head and 2 parking spaces for servicing/deliveries to the retail unit. The site had been previously occupied by a very popular bakery with limited parking and access and the proposed development formalises both access and parking arrangements and as such will be an improvement over the previous situation. As such, any servicing would take place off the highway and the proposed development would not be detrimental to highway safety.

Parking - SPD11 states that the maximum parking standards for a retail unit is 1 space per 30 square metres of floorspace and a 2 bedroom dwelling is 1.5 spaces per unit, which equates to 9.5 parking spaces in total.

The proposed development would provide 9 parking spaces for use by the retail units and the residential apartments, with a further 2 parking spaces identified for servicing/deliveries to the retail unit. Therefore, the proposed development would comply with the maximum parking standards and would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Access - Level access would be provided to the proposed retail unit and an ambulant staircase would be provided to the proposed residential units at first floor level. Therefore, the proposed development would be accessible for all and would be in accordance with Policy HT5/1 of the Bury Unitary Development Plan.

Planning Obligations - A contribution of £5,129.59 is sought for recreation provision in accordance with Policy RT2/2 of the Unitary Development Plan and SPD1. This will be secured through a Section 106 agreement.

Response to objectors

The issues of loss of privacy, traffic and pedestrian safety have been addressed in the main report. The issue of competition is not a material planning consideration and cannot be taken into consideration and the potential for antisocial behaviour cannot be sustained given the form of the development as retail and residential uses.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows;-

The proposed development would be acceptable in principle and would not have a significant adverse impact upon the amenity of the neighbouring properties. The proposed development would not be a prominent feature in the streetscene nor would it be detrimental to highway safety.

There are no other material considerations that outweigh this finding.

Recommendation: Minded to Approve

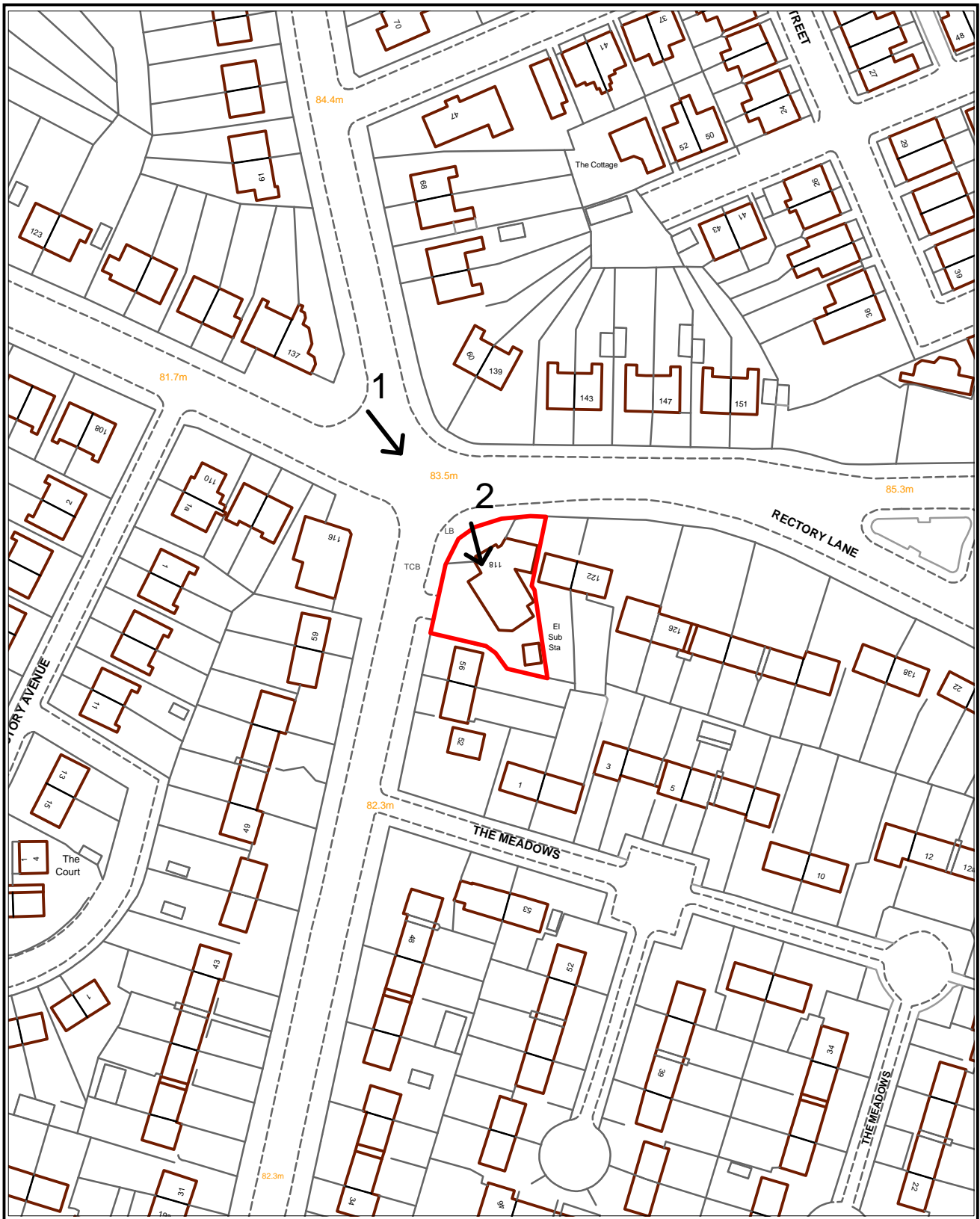
Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Location plan Rev A, PS-0668-TS-00, 3010/PL/01 A, 3010/PL/02 A, PS-0668-TS-A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
6. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year unless otherwise agreed in writing with the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the building hereby approved being brought into use.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan and SPD11 - Parking Standards in Bury.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 55170

**ADDRESS: 118 Rectory Lane
Prestwich**



Planning, Environmental and Regulatory Services 1:1250

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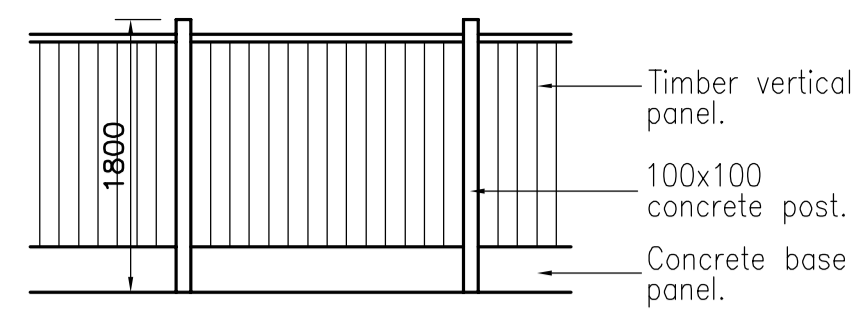
55170

Photo 1



Photo 2





Timber fence
SCALE-1:50



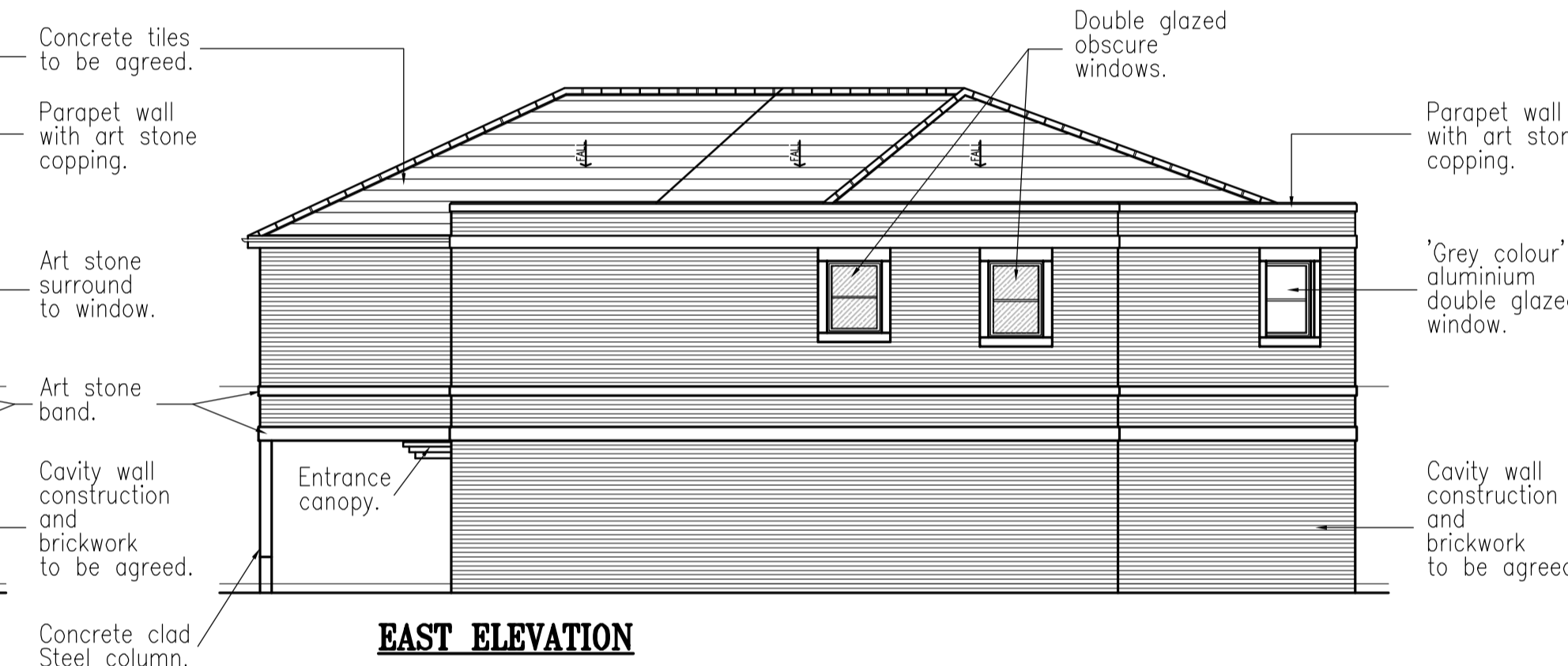
NORTH ELEVATION



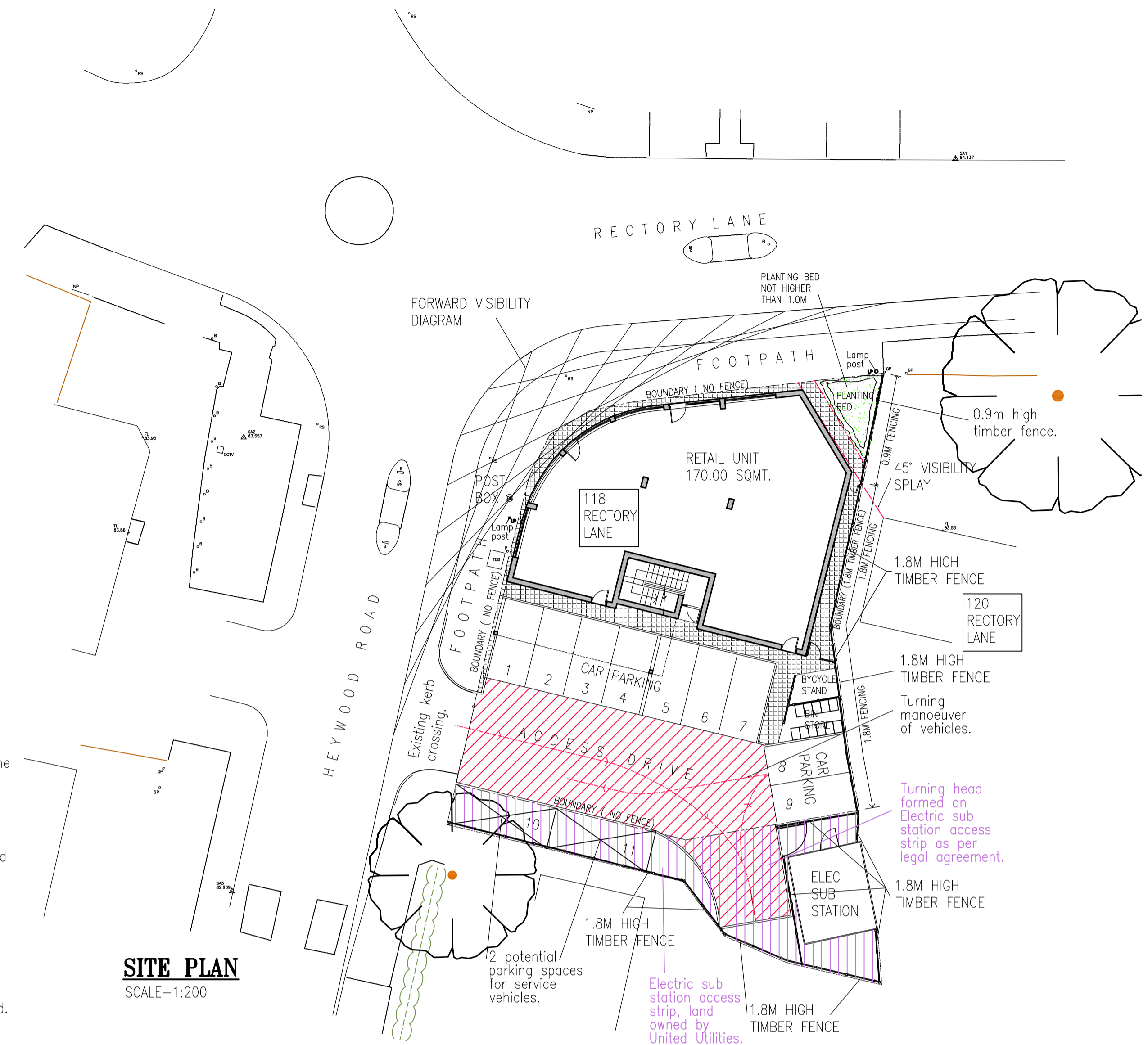
WEST ELEVATION



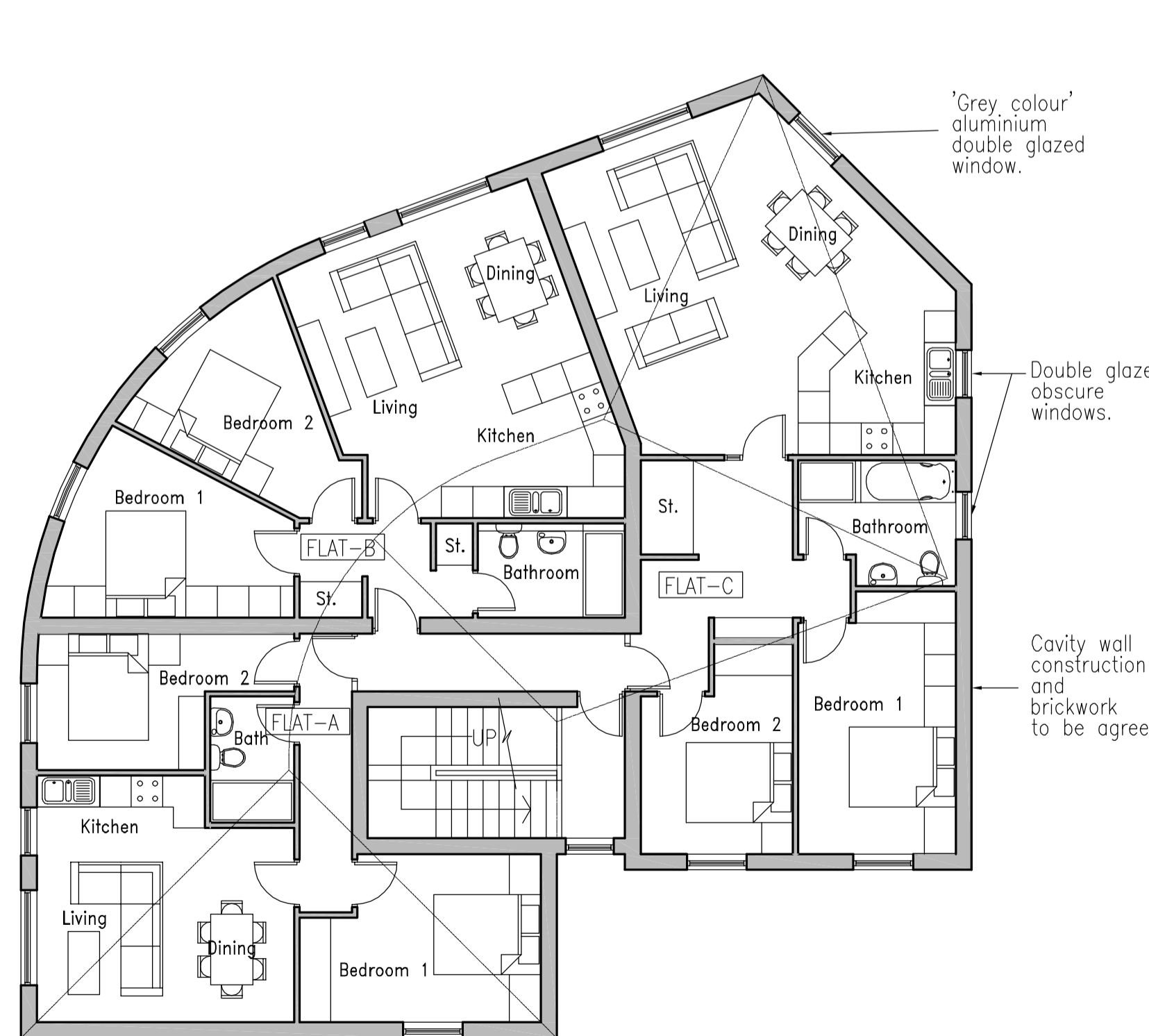
SOUTH ELEVATION



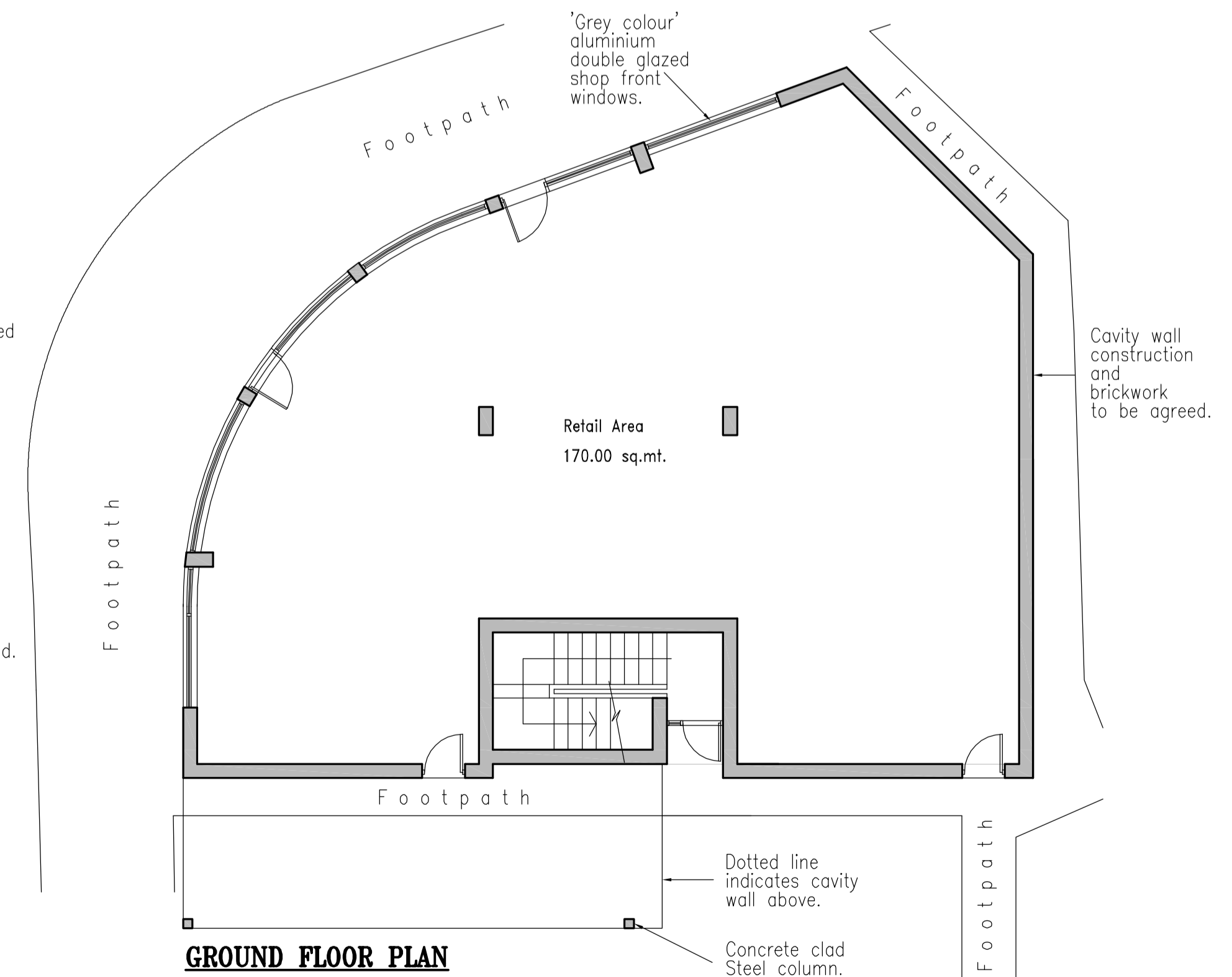
EAST ELEVATION



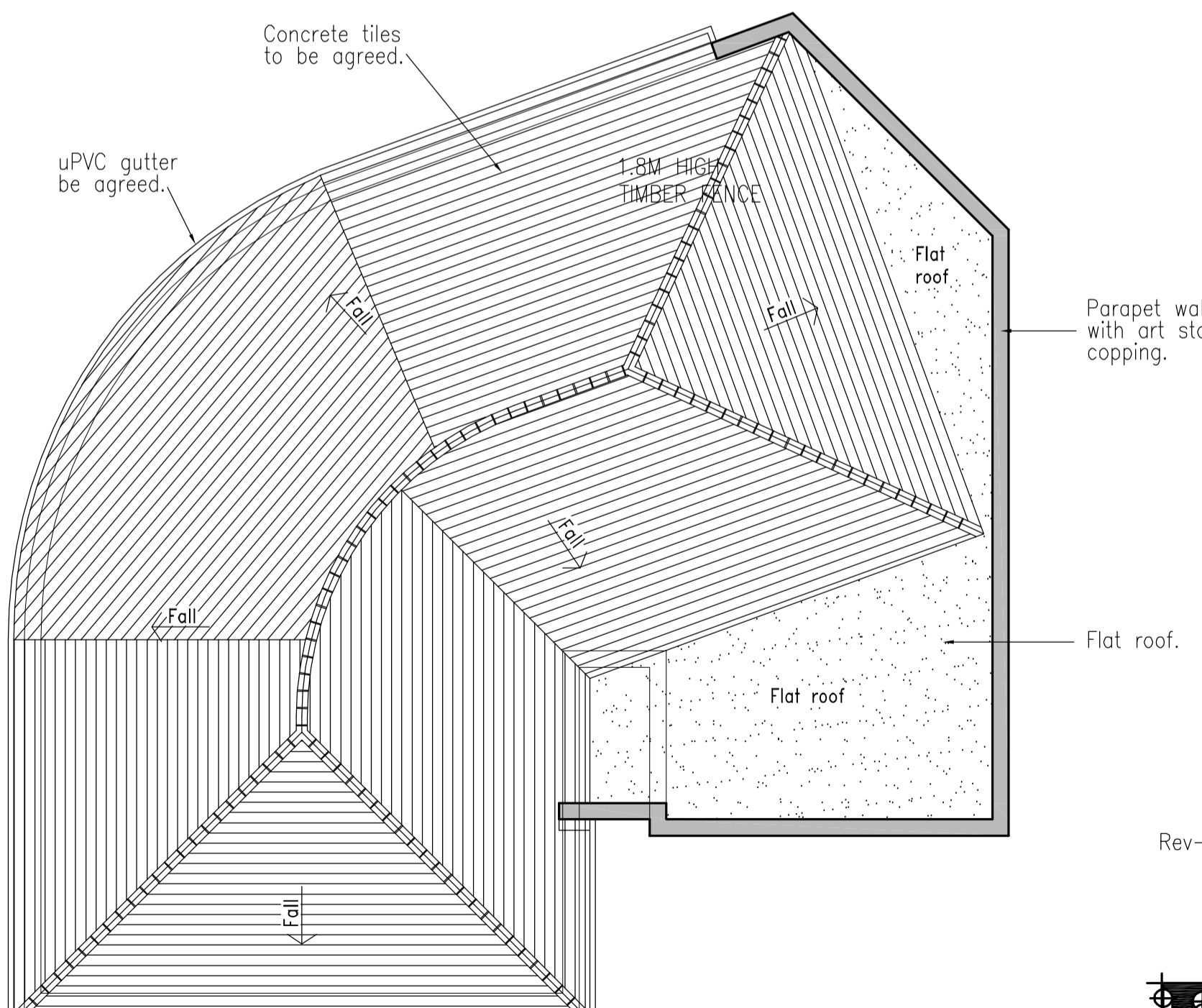
SITE PLAN
SCALE-1:200



FIRST FLOOR PLAN



GROUND FLOOR PLAN

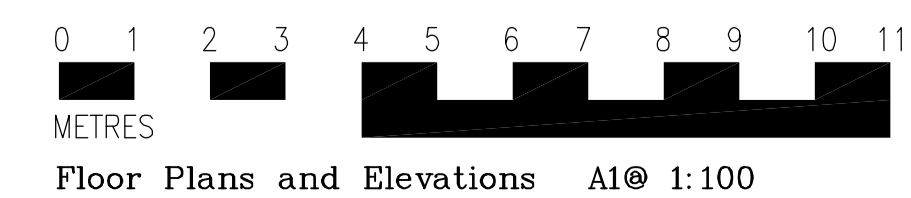


ROOF PLAN

- PROPOSED GROUND FLOOR**
Retail unit- 170 sqm.
- PROPOSED FIRST FLOOR**
Flat A - 56.00 sqm.
Flat B - 66.00 sqm.
Flat C - 84.00 sqm.

Rev-A Site plan amended and obscure glass added in kitchen east elevation. 29-6-12

	Project	Swiss Cottage 118, Rectory Lane Prestwich, Manchester.
	Dwg Title	Proposed Floor Plan, Elevations and Site.
PETER DARLINGTON ARCHITECTS INTERIOR DESIGNERS 25 Bryn Street, Ashton in Makerfield, Wigan, Wilt 94U Tel: 01942 717799 Fax: 01942 717798 Mobile: 07855 355010 E-mail: peter.darlington@hotmail.com	Dwg No	3010/PL/01
	Rev	A
1. Figure dimensions to be followed in preference to scale 2. All dimensions to be checked on site. 3. This drawing remains the copyright of the architect and may not be copied without prior consent.	Drawn by	M.M.
	Scale	As Shown
	Date	April '12



Ward: Bury East - Redvales

Item 06

Applicant:

Location: Land adjacent to 1 Ribchester Drive, Bury, BL9 9JT

Proposal: Residential development of 5 no. 3-storey townhouses (resubmission)

Application Ref: 55198/Full

Target Date: 10/07/2012

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The application site is a vacant piece of land and is located at the junction of Ribchester Drive and Radcliffe Road. The site is a greenfield site and there are trees planted along the northwestern boundary of the site.

The site is located within a wholly residential area and is bounded by residential properties to the north, south and west. There is a neighbourhood shopping centre located to the southwest and Derby High School is located some 180 metres to the east.

The applicant seeks permission for the erection of 5 dwellings in a terrace. The proposed dwellings would be three storeys in height and would be constructed in brick and render. A driveway accessed from Ribchester Drive would be provided to each dwelling.

Relevant Planning History

22426 - Residential development on land off Ribchester Drive, Bury. Approved - 22 June 1989.

54668 - Residential development of 5 no. 3-storey townhouses on land adjacent to 1 Ribchester Drive, Bury. Refused - 2 February 2012.

The application was refused as there were issues relating to residential amenity, insufficient information relating to flood risk and Japanese Knotweed and highways issues.

Publicity

31 neighbouring properties (1 - 4, 6 - 16 (evens) Ribchester Drive, 100 - 114 (evens), 149 - 167 (odds) Radcliffe Road, 47, 47 Padiham Close) were notified by means of a letter on 18 May and site notices were posted on 21 May 2012.

3 letters have been received from the occupier of 1, 4, 8 Ribchester Drive, which have raised the following issues:

- The Japanese Knotweed is located on land immediately adjacent to 1 Ribchester Drive and is beginning to spread to the dwellings at the rear.
- The proposal is not in keeping with the type of housing in the surrounding area.
- Provision has been made for 3 refuse bins, when all houses have 4.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments to be reported in the Supplementary Report.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of standard conditions relating to contaminated land.

Waste Management - No objections.

Wildlife Officer - No objections, subject to the inclusion of a condition protecting nesting birds.

Environment Agency - No objections, subject to the inclusion of a condition relating to finished floor levels.

Designforsecurity - Comments awaited.

United Utilities - Comments awaited.

Baddac - The internal layout of the dwellings show great potential for lifetime homes. Seek clarification of the gradients to the entrances and how level thresholds would be achieved.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN5/1	New Development and Flood Risk
EN7	Pollution Control
EN9	Landscape
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

Principle - Bury's statutory housing targets are set out in the Regional Spatial Strategy for the North West (RSS) at 500 dwellings per annum between 2003 and 2021. In addition to this annual target, housing delivery in the Borough also needs to take account of the shortfall in completions in the past six years, which has only averaged around 280 per annum, mainly as a result of the prevailing housing market conditions.

Whilst the Government has indicated that it is seeking to remove RSS and its housing targets, they have not indicated when this will be done and, therefore, the RSS target remains the statutory housing target until such time as RSS is removed or it is replaced by a new target in Bury's emerging Local Plan. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up with sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring

indicates that the Council is unable to demonstrate a five year supply of deliverable housing land (4.7 years with a 5% buffer applied in accordance with the NPPF) and this needs to be treated as a material factor when determining applications for residential developments.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for housing development, including the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is currently vacant and is located at the junction of Radcliffe Road and Ribchester Drive. The site is located within the urban area and given its position to amenities and facilities, is in a sustainable location. Whilst it is a previously undeveloped site, the applicant has argued that it is an overgrown site and its redevelopment would help to regenerate the local area. The site is in a prominent location and it is accepted that the proposals would provide some local regeneration benefits. Historically, the site has been earmarked for housing in the urban potential study and has previously benefited from planning permission. More recently, the site has been identified in the SHLAA (HL/2249/00) as having 'unconstrained potential' for residential use. Given the likely local regeneration benefits and the planning history of this site, the proposed development would be acceptable in principle. Therefore, the proposed development would be in accordance with Policy H1/2 of the adopted Unitary Development Plan and would be in general accordance with National and Regional planning policy and will help to contribute towards meeting local housing targets.

Impact upon surrounding area - The neighbouring residents have raised concerns that Japanese Knotweed is present on the site. The applicant has confirmed that Japanese Knotweed is present on the piece of land between the application site and No. 1 Ribchester Drive and not on the application site. Therefore, the proposed development would be in accordance with Policy EN9 of the Unitary Development Plan.

Design/layout - The layout of the openings within the proposed dwellings is uniform and plot 1 would have an active frontage to both Ribchester Drive and Radcliffe Road, which is welcomed.

Size/massing - The proposed dwellings would be three storeys and would be of a height of 8 metres, which has been reduced by 1 metre compared to the previous application. The surrounding buildings in the locality are all two storeys in height with the adjacent dwellings on Ribchester Drive being 7.3 metres in height. There is a gap of 7.5 metres between No. 1 Ribchester Drive and the application site. Given that the proposed dwellings are only 0.7 metres higher and the distance between the existing and proposed dwellings, it is considered that the proposed development would not be unduly prominent within the streetscene nor appear incongruous.

Design/elevations - The proposed dwellings would be constructed in brick on the ground and first floors, render on the second floor and a tiled roof. The use of a mixture of materials would help to break up the elevations, thereby limiting the three storey appearance in a street of two storey dwellings.

Therefore, the proposed dwellings would not be an unduly prominent feature within the streetscene and would not be detrimental to the visual amenity of the surrounding area. The proposal would not conflict with Policies EN1/2 and H2/1 of the adopted Unitary Development Plan.

Refuse and storage - Despite only indicating three bins, residential developments within Bury should accommodate 4 wheelie bins. The plans indicate that there is sufficient space

to accommodate 4 bins to each of the properties

Impact upon residential amenity - SPD 6 provides guidance on aspect distances between residential properties and is relevant in this case. SPD6 states that there should be 23 metres between directly facing habitable room windows and 16 metres between habitable room windows and a three storey blank wall.

There would be habitable room windows on the ground floor of the proposed dwellings and the plans indicate that a 2 metre high timber fence would be erected on the boundary with the flats to the rear (Nos 102 - 114 Radcliffe Road). The proposed fencing would ensure that there was no loss of privacy for the occupiers of both the existing and proposed dwellings and the minimum distances provided from the ground floor windows to habitable rooms would be 8m to the rear boundary, which is sufficient to comply with policy requirements in SPD6.

The openings within the first and second floors relate to either a bathroom or a landing and as such, the aspect standard would be 16 metres. There would be between 17 and 19 metres between the existing and proposed dwellings, which would comply with the aspect standards.

There would be 22.9 metres between the proposed dwelling (plot 1) and No. 2 Ribchester Drive. The room on the second floor would be a bedroom and the principle window would be located on the gable elevation with a secondary window facing No. 2 Ribchester Drive. As such, the proposed development would not have an adverse impact upon the amenity of the occupiers of No. 2 Ribchester Drive. There would be 32 metres between plot 1 and Nos 159 and 161 Radcliffe Road and 23 metres between the proposed dwellings and Nos 4 - 10 Ribchester Drive, which would comply with the aspect standards.

Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties.

Flood risk - A flood risk assessment (FRA) was submitted with the application as the site is located within flood zone 2. The FRA states that the finished floor levels of the proposed dwellings would be 300mm above ground level. The Environment Agency had initially objected on the scheme and sought to have the floor levels increased to 600mm above ground level, as the site was within a local Flood zone 2. However, in considering how the development of this site would relate to existing properties located around the site, they accepted that their requirement to increase levels to 600mm would be unreasonable and would leave the development of these properties visually and physically at odds with its surroundings. On this basis, the Environment Agency has no objections, subject to the inclusion of a condition relating to finished floor levels to those originally indicated. Therefore, the proposed development would be in accordance with Policy EN5/1 of the Bury Unitary Development Plan and NPPF.

Highways issues - The red edge has been amended following the previous application and appropriately meets the adopted highway. A footpath would be provided for the pedestrians along the length of the application site, which is welcomed, thus connecting Radcliffe Road to Ribchester Drive.

Plot 1 has been relocated and would be 13.3 metres from the junction of Ribchester Drive and Radcliffe Road. As such, a driver turning into Ribchester Drive from Radcliffe Road would have time to react to a vehicle reversing out of the driveway for plot 1. The Traffic Section has no objections in principle to the proposal and further comments will be reported in the Supplementary Report. Therefore, the proposed development would not be detrimental to highway or pedestrian safety and would be in accordance with Policy H2/2 of the Bury Unitary Development Plan.

Parking issues - SPD11 states that there should be a maximum of 2 spaces for a 3 bedroom dwelling, which equates to a total of 10 spaces. The proposed development would

provide 5 parking spaces. The site is located on a main bus route into Bury and there are 2 shopping centres within walking distance of the site. Therefore, the level of parking provision would be acceptable and would comply with Policy HT5/1 of the adopted Unitary Development Plan and SPD11.

Access issues - The proposed dwellings would have level access. Baddac considers that the proposed dwellings would comply with lifetime homes standard and the provision of lifetime homes would be secured by a condition if consent is granted. Therefore, the proposed dwellings would be accessible and would comply with Policy HT5/1 of the adopted Unitary Development Plan.

Planning Obligations - A contribution of £14,431.44 is sought for recreation provision in accordance with Policy RT2/2 of the Unitary Development Plan and SPD1. This will be secured through a Section 106 agreement.

Response to objectors

The Japanese knotweed is located on land, which is outside of the application site and out of the applicant's ownership.

The issue of design has been addressed in the report above.

A condition would be added to any grant of planning consent requiring a bin store of a size to accommodate 4 bins to be provided.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows;-

The proposed development would be acceptable in principle and would not have a significant adverse impact upon the amenity of the neighbouring properties. The proposed development would not be a prominent feature in the streetscene nor would it be detrimental to flood risk or highway safety.

There are no other material considerations that outweigh this finding.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Site location plan Rev B, 11/210.01B, 11/210.03 C, 11/210.04 B, 11/210.05 B, 11/210.06 C, 11/210.07 C and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to

National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

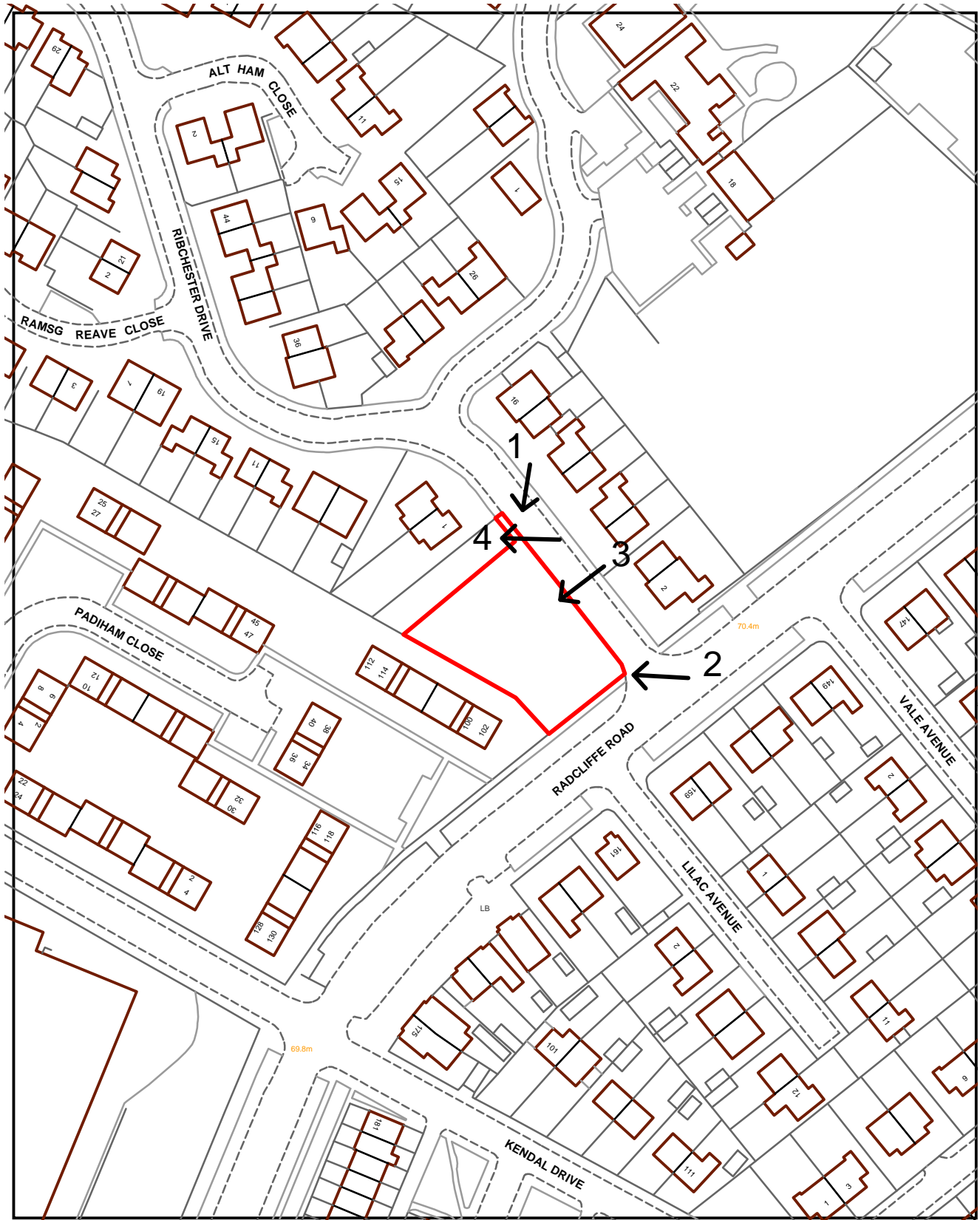
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Details/Samples of the materials/bricks to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
6. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year unless otherwise agreed in writing with the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
7. Provision for lifetime homes shall be incorporated into the development in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority prior to the development hereby approved commencing. The development shall then be carried out incorporating the measures in accordance with the approved scheme.
Reason. To ensure that the development is fully accessible to disabled persons pursuant to Policies HT5/1 – Access for Those with Special Needs of the Bury Unitary Development Plan.
8. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the extension hereby approved being brought into use.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
9. Details of a bin store to accommodate 4 bins shall be submitted to and approved in writing by the LPA prior to any development commencing. The approved details shall be implemented in full prior to first occupation of the dwellings hereby approved.
Reason - In order to ensure that the development would maintain adequate facilities for the storage of domestic waste, including recycling containers, in the interests of amenity and pursuant to the following Unitary Development Plan Policies:
H2/1
H2/2

10. A 2 metre high close boarded timber fence shall be erected and remain in the approved position along the entire length of the boundary of the between the application site and Nos 102 - 114 Radcliffe Road prior to first occupation of any of the dwellings hereby approved.

Reason - To secure the satisfactory development of the site and in the interests of the residential amenities of the neighbouring residents pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 55198

**ADDRESS: Land Adjacent To 1 Ribchester Drive
Bury**



Planning, Environmental and Regulatory Services 1:1250

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55198

Photo 1



Photo 2



Photo 3

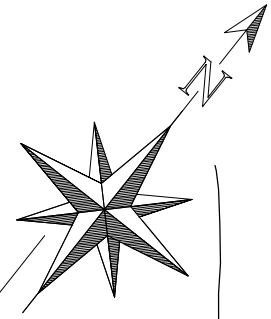


Photo 4



- NOTES**
- This drawing is copyright. No unauthorized copying or drawing without the express permission of the architect.
 - Do not scale from prints. Use figure dimensions only.
 - Contractors to check all dimensions on site prior to commencement of works.
 - All works to be carried out in accordance with current statutory Health and Safety Regulations.
 - This drawing is to be read in conjunction with all relevant consultants' and / or specialist drawings / documents and any discrepancies or variations are to be notified to the architect before affected work commences.

REV.	AMENDMENTS	DATE
A	Mirror revisions to plot boundaries	29.11.11
B	Fencing required along rear boundary. Gated access added to Rochdale road boundary	11.01.12
C	New lighting column indicated at L.A request. Existing lighting column & poles added.	10.05.12
D	Plot One fencing amended at L.A request. Bin stores amended	31.05.12



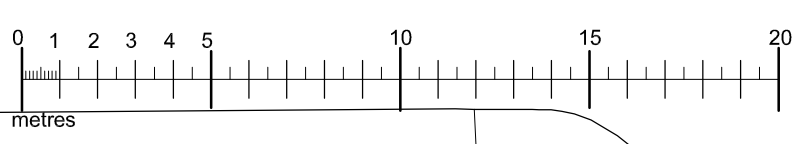
LEGEND

- A BLOCK PAVING TO DRIVEWAYS, PATHS & PATIOS (COLOUR: TBC)
- B GRASS LAWNS
- C CEDAR CLAD SCREENS AROUND BIN STORES
- D 1500mm HIGH CONCRETE POST & TIMBER PANEL BOUNDARY FENCING
- E 1800mm HIGH CONCRETE POST & TIMBER PANEL BOUNDARY FENCING
- F 900mm HIGH BRICKWORK WALL WITH 1500mm HIGH PIERS & TIMBER INFIL PANELS
- G 400mm HIGH TIMBER POST & KNEE RAIL
- H CONCRETE FLUSH KERB TO FRONT EDGE OF DRIVEWAYS
- J LOW-LEVEL PLANTING TO EDGE OF LAWNS
- K 2000mm HIGH REPLACEMENT TIMBER CLOSE-BOARDED FENCE PROVIDING SCREEN TO REAR PROPERTIES



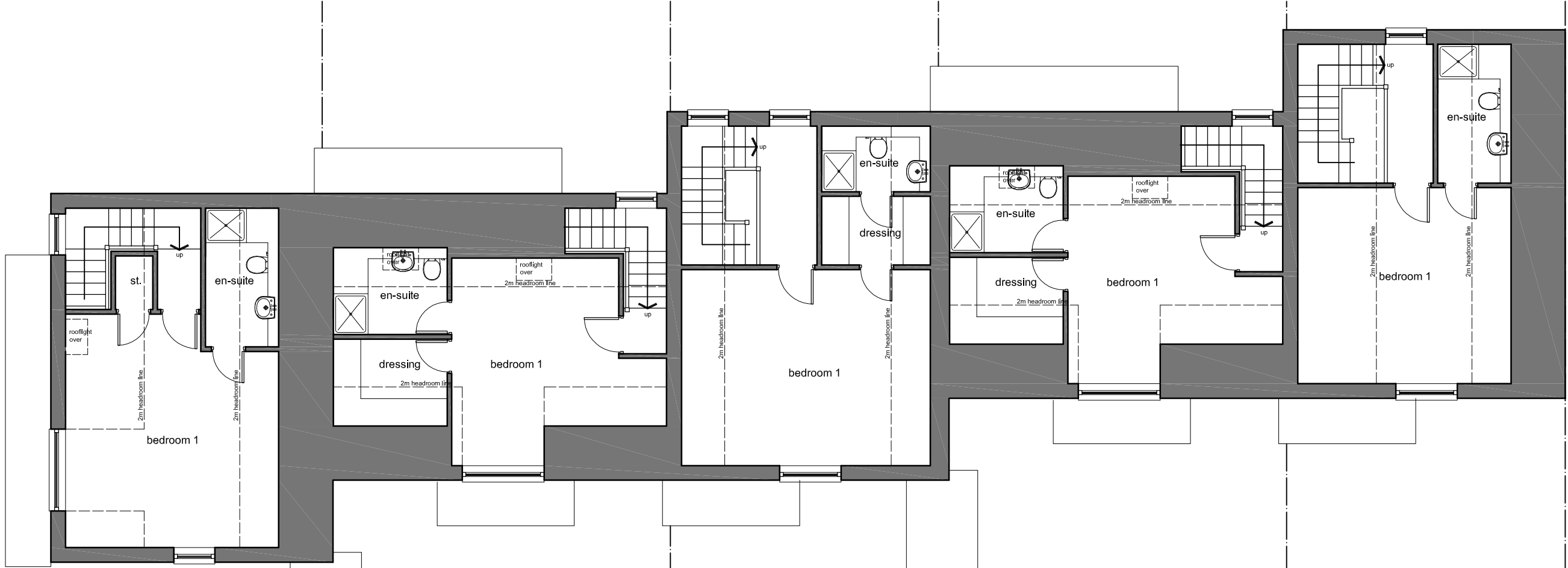
PROPOSED SITE LAYOUT

RADCLIFFE ROAD

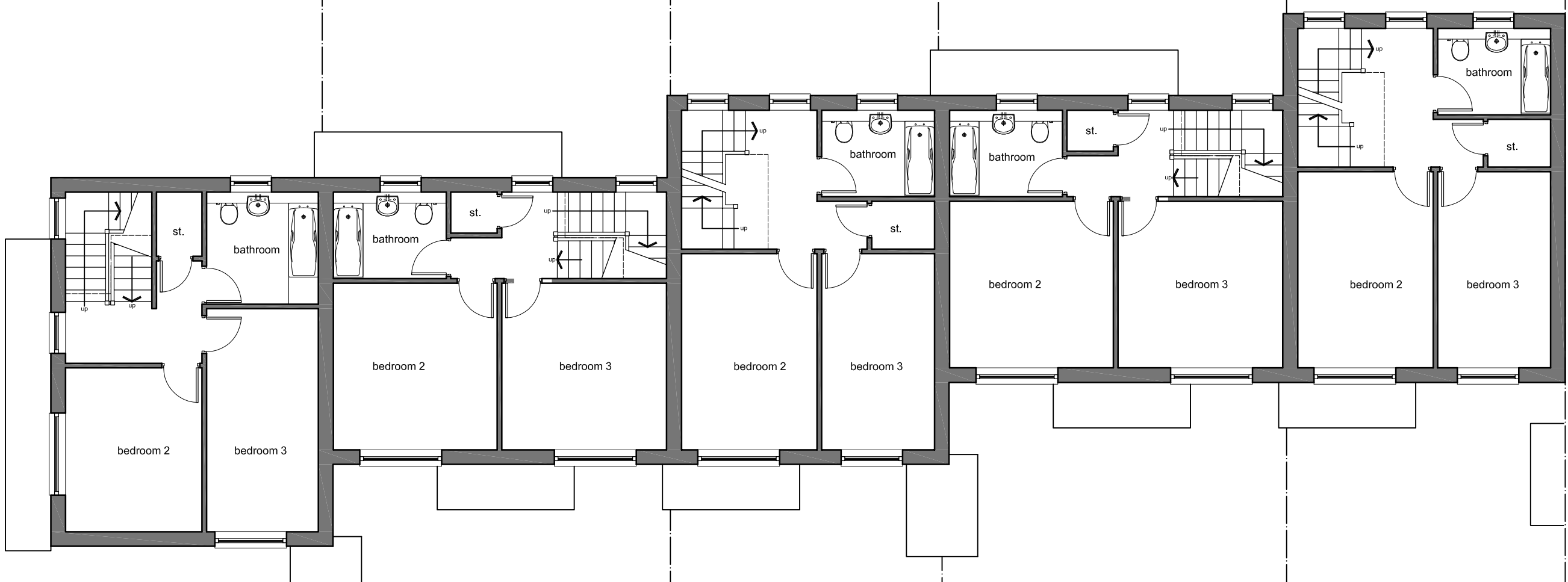


Project	PROPOSED RESIDENTIAL DEVELOPMENT: LAND ADJACENT TO 1 RIBCHESTER DRIVE, BURY, PROPOSED SITE LAYOUT
Client	Ms. LAWSON
Drawn	CPS
Scale	1:100
Draw. No.	11210.03.D
Draw. Site	A1
Date	OCT 2011

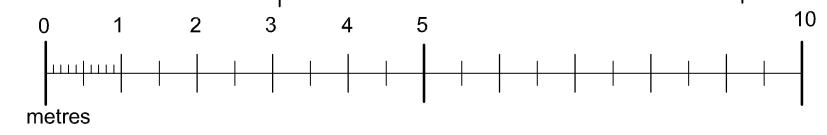
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 - All works to be carried out in accordance with current statutory Health and Safety Regulations.
 - This drawing is to be read in conjunction with all relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the architect before affected work commences.
- | REV. | AMENDMENTS | DATE |
|------|---|----------|
| A | Staircases and second floor plans revised to suit reduced roof heights. | 30.01.12 |



PROPOSED SECOND FLOOR LAYOUT



PROPOSED FIRST FLOOR LAYOUT



Project	PROPOSED RESIDENTIAL DEVELOPMENT: LAND ADJACENT TO 1 FIBCHESTER DRIVE, BURY, PROPOSED FIRST/SECOND FLOOR LAYOUTS
Client	MR. LAWSON
Drawn	CPS
Scale	1:50
Dwg. No.	11/210.05 A
Dwg. Set	A1
Date	NOV 2011



- Notes:**
- This drawing is a technical drawing. It is not intended for construction or for any other purpose.
 - It is the responsibility of the client to ensure that the drawing is used in accordance with the terms and conditions of the contract.
 - The drawing is to be used in conjunction with all relevant specifications and standards. It is the responsibility of the client to ensure that the drawing is used in accordance with the terms and conditions of the contract.
- Scale:**
- 1:100

PROPOSED FRONT ELEVATION (facing RIBCHESTER DRIVE)

SCHEDULE OF MATERIALS

- A PLAIN CONCRETE ROOFING TILES (COLOUR: DARK GREY)
- B RED FACING BRICKWORK (TBC)
- C THROUGH-COLOURED RENDER (COLOUR: SILICON GREY)
- D HORIZONTAL CEDAR CLADDING
- E ZINC SHEETING TO FLAT ROOFS & FASCIAS
- F PAINTED TIMBER WINDOWS & DOORS (COLOUR: LIGHT GREY)
- G PAINTED TIMBER FASCIAS & SOFFITS (COLOUR: LIGHT GREY)
- H PVCU RAINWATER GUTTERS & DOWNPIPES (COLOUR: BLACK)



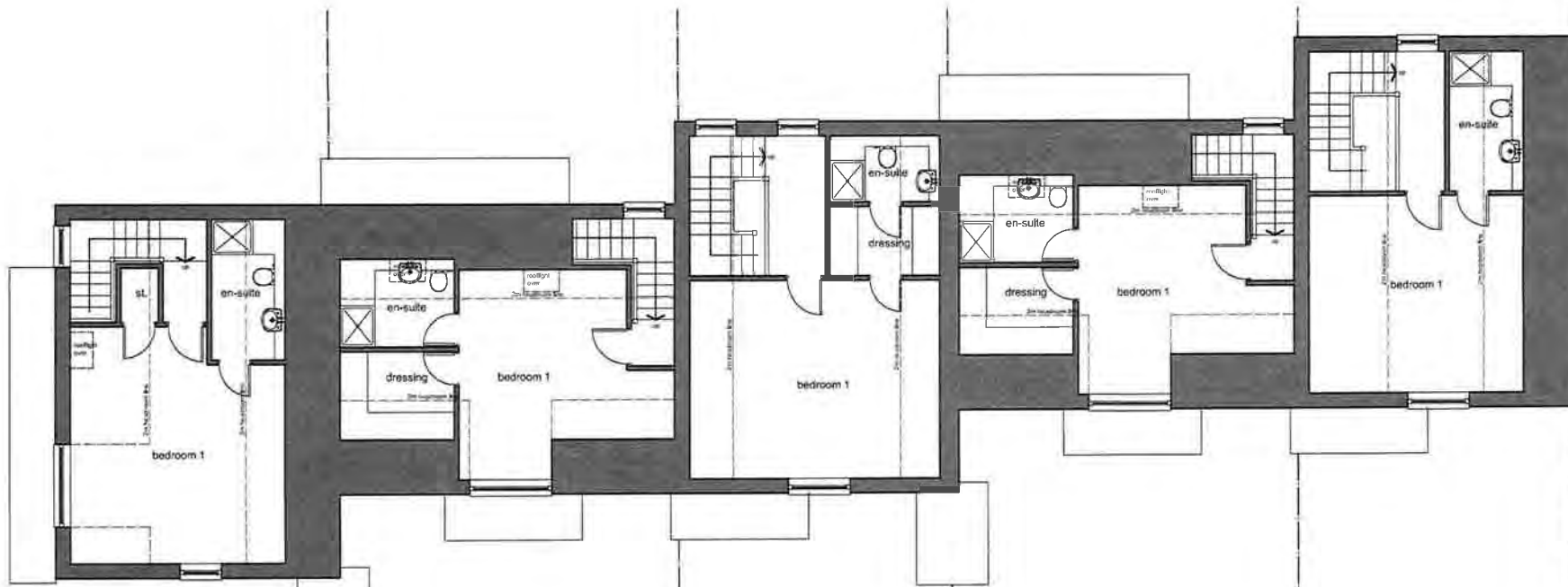
PROPOSED END ELEVATION (facing RADCLIFFE ROAD)



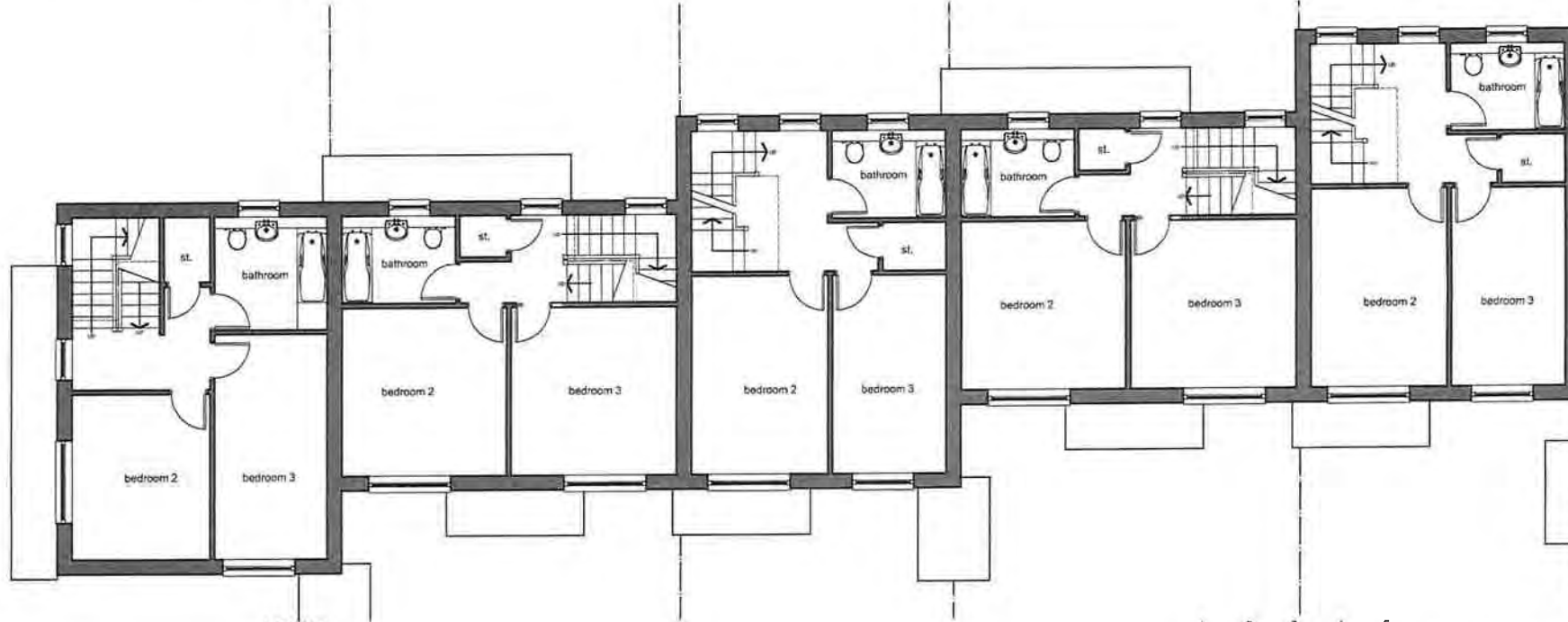
STREETSCAPE ELEVATION (along RIBCHESTER DRIVE) SCALE 1:100



Project	PROPOSED RESIDENTIAL DEVELOPMENT (LAND ACQUISITION TO 1 RIBCHESTER DRIVE)
Client	MR. LAVERIE
Drawn	MR. LAVERIE
Scale	1:100
Date	11/01/2024
Site	1 RIBCHESTER DRIVE



PROPOSED SECOND FLOOR LAYOUT



PROPOSED FIRST FLOOR LAYOUT

NOTES

- The building is proposed to be constructed in accordance with the requirements of the Building Regulations.
- The building is proposed to be constructed in accordance with the requirements of the Building Regulations.
- All work is to be carried out in accordance with current building regulations and the Building Regulations.
- The building is to be constructed in accordance with current building regulations and the Building Regulations.

KEY: **EXISTING** **NEW** **DATE**

1. Reproduction and use of this plan is prohibited without the written consent of the architect.

PROPOSED SECOND FLOOR LAYOUT	PROPOSED FIRST FLOOR LAYOUT
EXISTING	EXISTING
NEW	NEW
DATE	DATE
NOV 2011	NOV 2011



Ward: Bury East

Item 07

Applicant: Mrs Dale Lowe

Location: 5 Back Broad Street, Bury, BL9 0EW

Proposal: Change of use from drama studio/workshop to live music venue (Class D2);
Alterations to existing elevations and new canopy

Application Ref: 55222/Full

Target Date: 24/07/2012

Recommendation: Approve with Conditions

Description

The application relates to a vacant single storey brick built, detached building (approx 200sqm) situated within the triangular backland area behind commercial properties fronting Market Street, Broad Street and Silver Street. The property, which is in a poor state of repair, was last used as a dance and drama studio but has been vacant for a number of years. The site is accessed from Broad Street and Silver Street by two side streets that are adopted and have parking restrictions (double yellow lines) imposed upon them. The area is generally used for the storage of bins and for servicing.

It is proposed to renovate the building and change its use from dance/drama studio (D1) to a music/entertainment venue (D2). There are no extensions proposed. In the supporting statement, the applicant indicates that the aim is to provide greater variety of opportunities for local talent in the form of a small scale, purpose made venue that is currently not available in the Town Centre. The supporting statement indicates that it is the intention to help and support local talent and provide a platform for them to progress onto bigger things. As well as evening performances, it is proposed that the venue is available to local groups wishing to rehearse during the daytime. It is felt that the premises are well suited given its former use as a drama and dance studio and behind the well established music shop on Broad Street. The applicants also state that it would bring a near derelict building back into productive use.

About a third of the internal space would accommodate an auditorium/stage area, another third the bar area with the remaining third being used for storage, toilets and entrance area.

Hours of opening to the public are proposed to 3am with a licence for live music required until midnight. Four part time staff with a manager would be employed at the site.

Relevant Planning History

46571 - Change of use from drama studio to retail (A1) - Refused 25/08/2006

29571 - Change of Use from Textile Machine Shop to Drama Studio - Approved 13/04/94.

Publicity

The following neighbours were notified by letter dated 29/05/2012.

Nos.2-40 (evens) Market Street, 3-19 Silver Street and 5-21, Broad Street and 1, 2, 3 and 4 Back Broad Street. One letter of objection has been received on behalf of the owners and various occupiers of Victoria Buildings on Silver Street. Concerns are summarised:

- The proposal would lead to further blocking up of the road and other areas around the building.
- Reduce access for emergency vehicles.
- There is insufficient bin storage on the backland area and this proposal will make the situation worse.
- The bin store is inadequate.
- Increased potential for broken glass in the area from bottles.

Consultations

Traffic Section - No objection subject to an appropriate footway along the west/entrance elevation being provided.

Environmental Health - No comment to date.

designforsecurity - Concerns relating to public safety and security within the backland area.

Baddac Access - No objection subject to appropriate access.

Cleansing - No comment to date.

Unitary Development Plan and Policies

Area	Bolton Street/Market Place
BY3	
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
S2/3	Secondary Shopping Areas and Frontages
EC4/1	Small Businesses
HT6/2	Pedestrian/Vehicular Conflict
EN7/2	Noise Pollution
TC1	Town Centres
TC1/2	Pedestrian/Vehicular Conflict in Town Centres
TC2	Town Centre Enhancement and Development
TC2/3	Vacant and Cleared Sites
TC3	Bury Town Centre
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention

Issues and Analysis

Use - Town Centre policies TC1, TC1/2, TC2, TC2/2, TC2/3 and TC3 within the UDP promote schemes that maintain and enhance the viability and vitality of the town centre, reduce pedestrian and vehicular conflict and encourage the redevelopment/reuse of vacant sites. The proposed change of use from drama/dance studio to music venue would in this town centre location, would be comply with these policies and be acceptable in principle.

Visual amenity and character of the Conservation Area - The building, subject to this application has been vacant for a number of years and is rather run down in appearance. The immediate backland area surrounding the building is also poor in terms of amenity value due to the nature of the area, the haphazard bin storage and parking and mix of surfacing around the building.

The proposal would facilitate the building's renovation and re-use and improve the appearance of the area as a result.

In addition to improvements to the building, the proposal would introduce a footway along the entrance elevation and to lead to the removal of refuse bins from the area immediately in front of this elevation, which is part of the adopted highway. This may cause some inconvenience to the occupiers of surrounding properties who are using the area as an informal bin store, but its is considered that the bins should be stored on the individual properties they are serving. This situation would not arise solely because of the proposed change of use as it is noted that the same scenario would arise if the drama studio where to be re-established without needing planning permission. On a related point, it is noted that the proposal involves the introduction of an bin store within the building with access from an external roller shuttered door.

The proposal, in improving the appearance of the building and introducing a pedestrian footway, would improve this backland part of the Town Centre Conservation Area and comply with UDP Policies EN1/2, EN2/1 and EN2/2 relating to townscape and conservation areas and town centre policies listed above.

Residential amenity - The site is within the town centre, very close to existing pubs and clubs along Silver Street and Market Street. As such the area is relatively noisy within the evenings and at weekends. There are a small number of flats above the commercial outlets along Silver Street but it is considered that in a town centre location, higher noise and disturbance levels would be generally more acceptable than in more residential areas and with appropriate sound insulation to the building, there would not be serious detriment to the residential amenity of the occupiers of the flats. The proposal is acceptable and complies with UDP Policy EN7/2 Noise Pollution, EC4/1 Small Businesses.

Public safety and security - The Police were initially concerned that the use of the building as a music venue would not be appropriate given that the area has no street lighting, little CCTV coverage and as such there would be potential for crime and anti-social behaviour to occur within the backland area surrounding the building.

In addition, the lack of a discernible pavement for the public to remain clear of the narrow road around the building would cause a safety hazard.

In response to the Police and the Council's own traffic section's concerns, revised plans have been submitted which indicate a new footway along the east/entrance elevation, internal bin store and additional external lighting and CCTV points around the building.

Notwithstanding further comments on the revised plans from the Police, it is considered that an appropriate external lighting and CCTV system would improve on the existing security around the building - which could in effect be used for a D1 (Non-residential Institution) use without planning permission. It is also considered that, with the proposed lighting and CCTV, the presence of security staff at the entrance to the building and the comings and goings of customers, would increase incidental public surveillance of the backland area.

Parking, Access and Servicing - No parking is proposed within the scheme and as this is a sustainable town centre location, this is acceptable.

Access would be via the adopted road that runs from Broad Street, past the building in question and onto Silver Street. There is no pedestrian footway along Back Broad Street at present but it is proposed to introduce a section of public footway along the east/entrance elevation, thereby improving pedestrian access and highway safety.

The property would be serviced as it was previously, when it functioned a drama studio. It is proposed to have internal bin storage and deliveries would be made via the adjacent adopted highway.

Objection - The concerns of the owners/occupiers of Victoria Buildings with regard to the congestion of the backland area around the building, have been addressed above. Access is indeed restricted at present but this is due to the surrounding businesses leaving their bins on the adopted highway, particularly in the area adjacent to the proposed entrance to the proposed music venue. Bins should be stored more appropriately within the respective businesses backing onto the area.

Congestion is made worse by cars parked around the building, again, either on or close to the adopted highway, making it difficult manoeuvre. This is not the applicant's fault and should not form the basis of a refusal of permission.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows;-

The proposal would facilitate the renovation and re-use of a long time vacant building and allow a new entertainment/recreational use within the town centre. There would be no serious detriment to the visual amenity of the area or residential amenity of any nearby town centre residents. The proposed lighting and CCTV, together with greater natural surveillance would improve security and public safety. The proposal complies with UDP Policies listed. There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

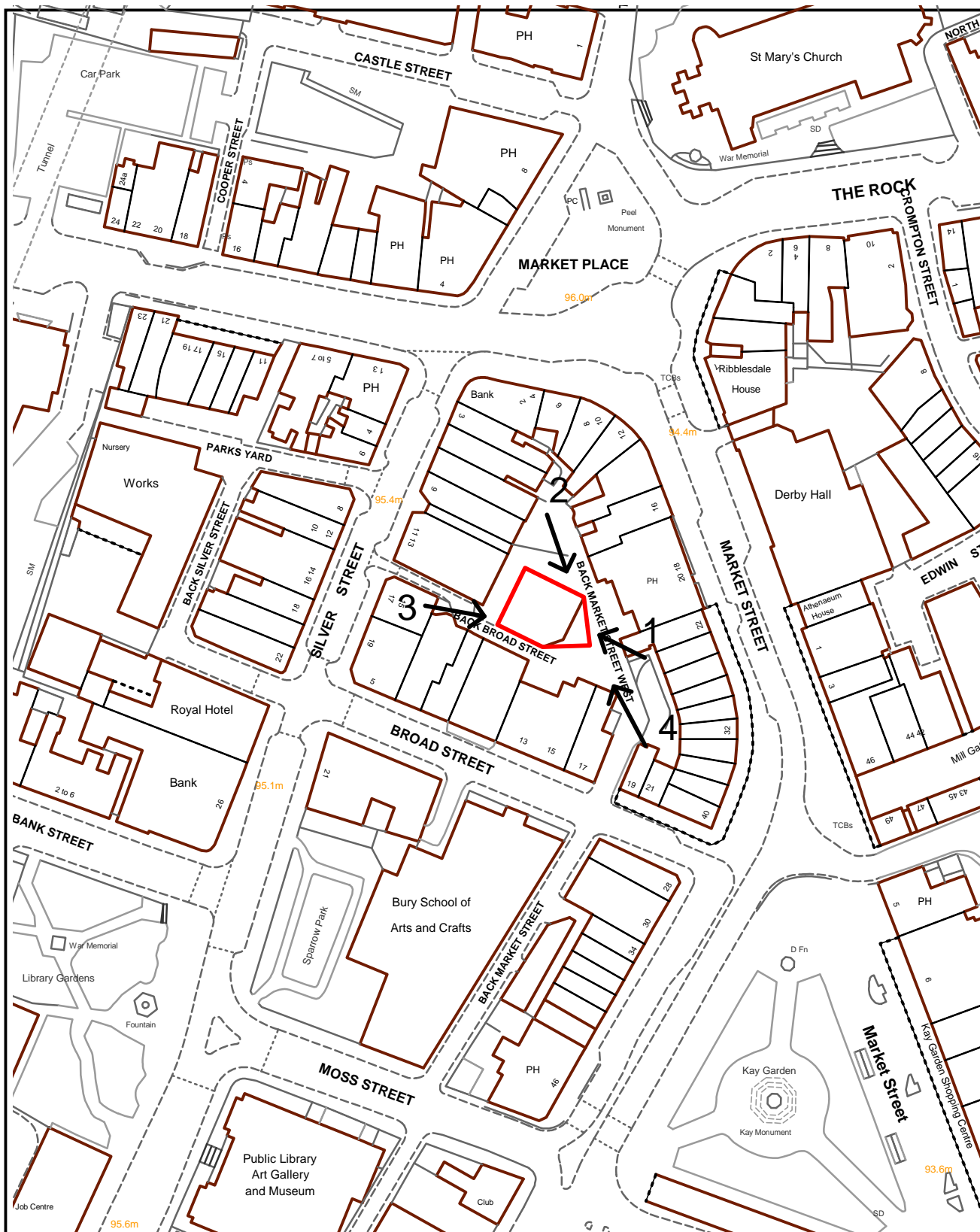
1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered C-0165-01 and revised plan 02/A (received 5/07/2012) and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external finishing materials for the proposal hereby approved shall match those of the existing building.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. Prior to commencement of development, full details of the proposed lighting and CCTV systems shall be submitted to and approved in writing by the Local Planning Authority. The approved systems shall be installed and operational prior to the use hereby approved commencing and remain operable whilst the building they serve remains in use.
Reason. In the interests of public safety and security pursuant to UDP Policy EN1/5 Crime Prevention.
6. No development shall commence unless and until a noise assessment of the premises from a suitably qualified person has been submitted to, and approved in writing by, the Local Planning Authority and;
Before the use commences, the premises shall be acoustically insulated and treated to limit the breakout of noise in accordance with the approved scheme and the scheme shall be implemented in full before the use commences.
Reason. To safeguard the amenities of the occupiers of the building and occupiers of nearby properties pursuant to UDP Policy EN7/2 Noise Pollution.
7. The development hereby approved shall not be brought into use unless and until the footway works indicated on the revised plan ref C-0165-02RevA received 05/07/2012 have been implemented to an agreed specification and to the written satisfaction of the Local Planning Authority.
Reason. To ensure good highway design in the interests of road safety pursuant to UDP Policy HT6/2 Pedestrian/Vehicular Conflict, EN1/2 Townscape and Built Design, EC4/1 Small Businesses.
8. The proposed bin store shall fitted with a roller shutter door and box or a similar

approved type which does not project outwards at any time during or after operation to the written satisfaction of the Local Planning Authority and shall thereafter be maintained.

Reason. To ensure compliance with Section 153 of the Highways Act 1980 which prohibits the opening of doors or gates onto the street and pursuant to UDP Policy HT6/2 Pedestrian/Vehicular Conflict.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 55222

**ADDRESS: 5 Back Broad Street
Bury**



Planning, Environmental and Regulatory Services 1:1250

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55222

Photo 1



Photo 2



Photo 3

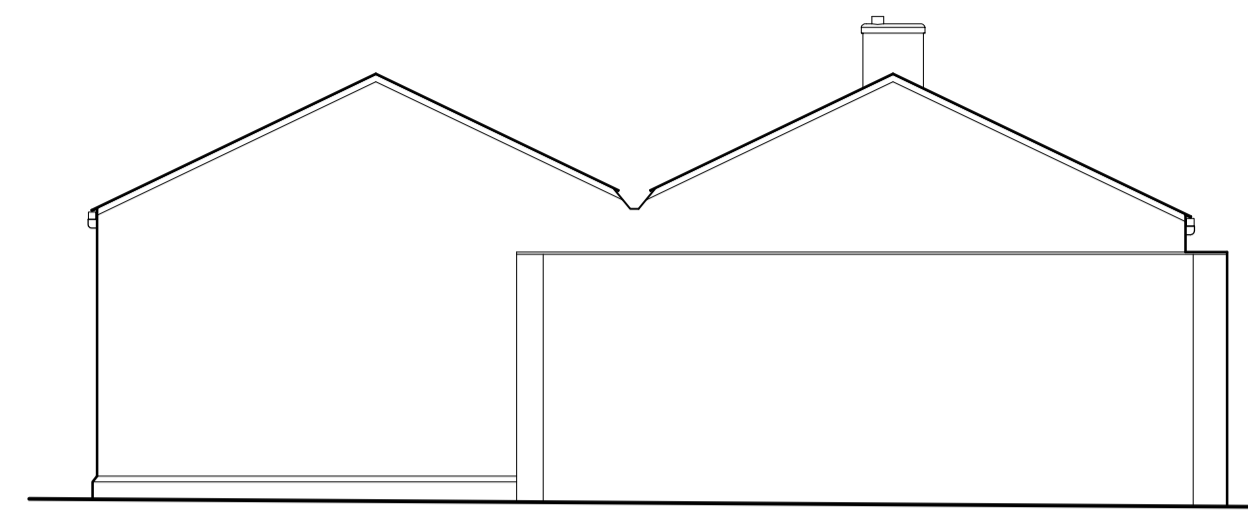


Photo 4





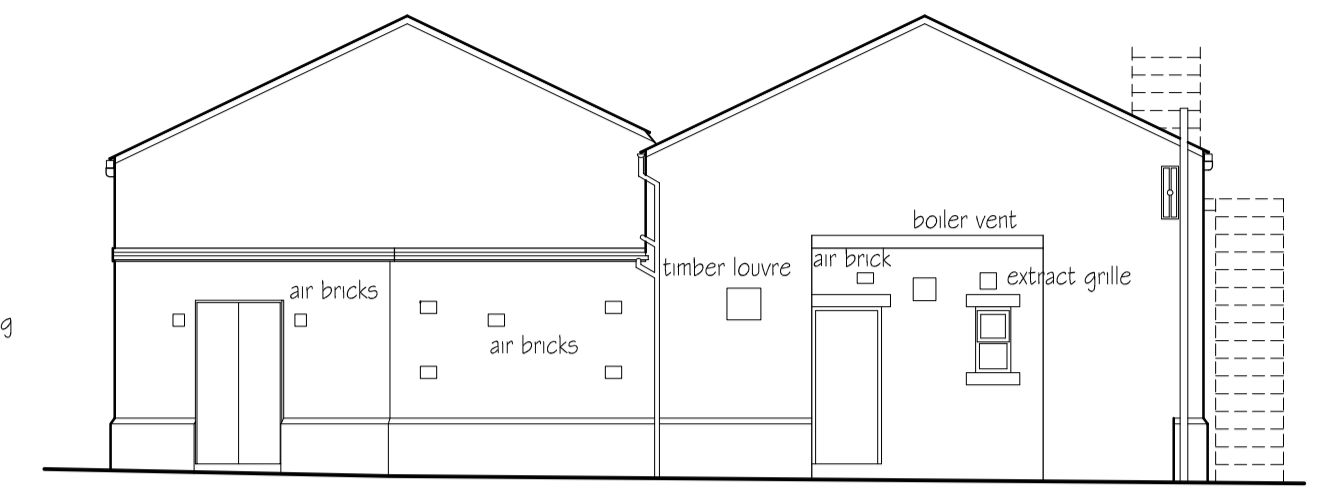
ELEVATION A TO
BACK BROAD STREET



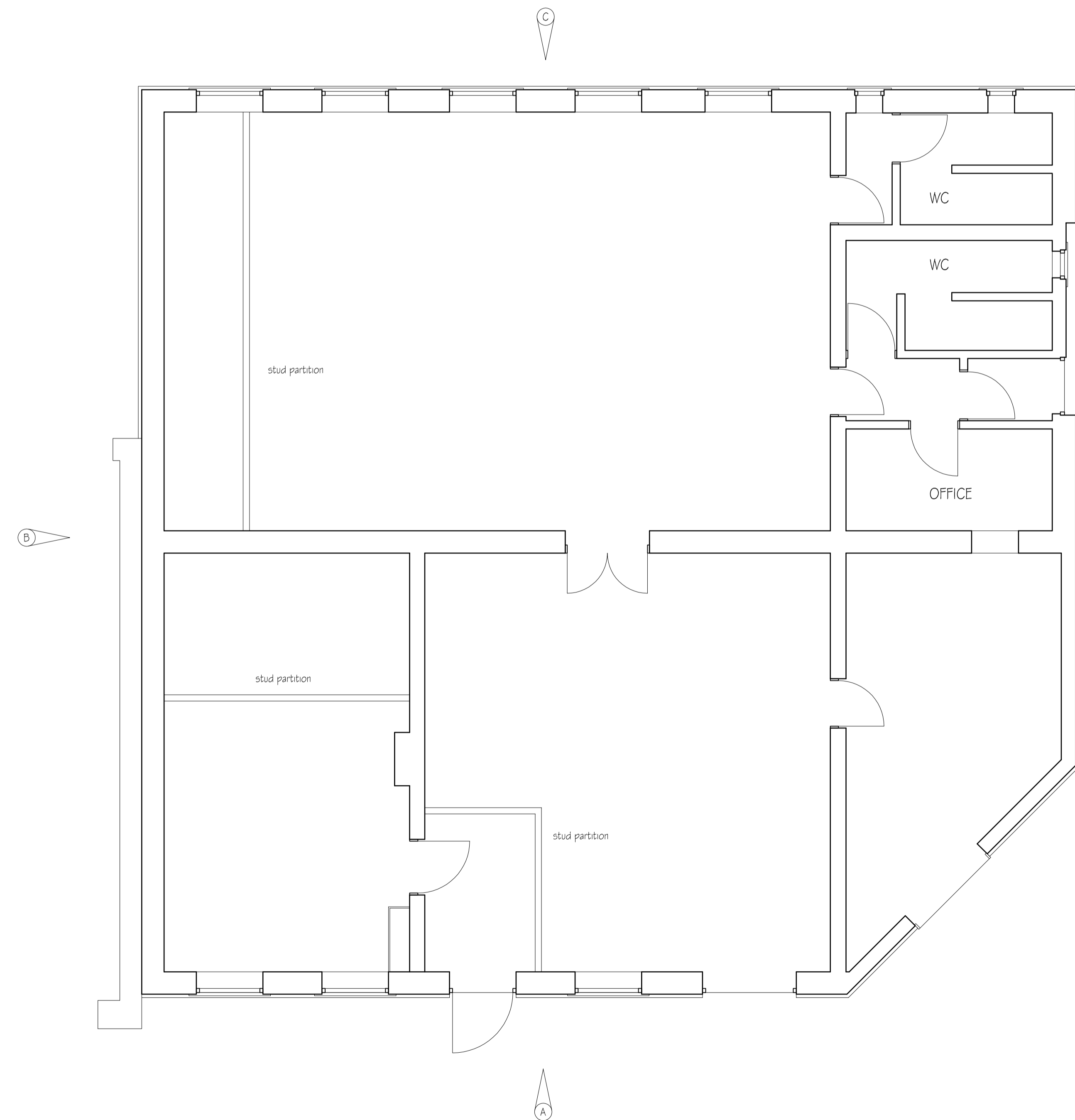
ELEVATION B



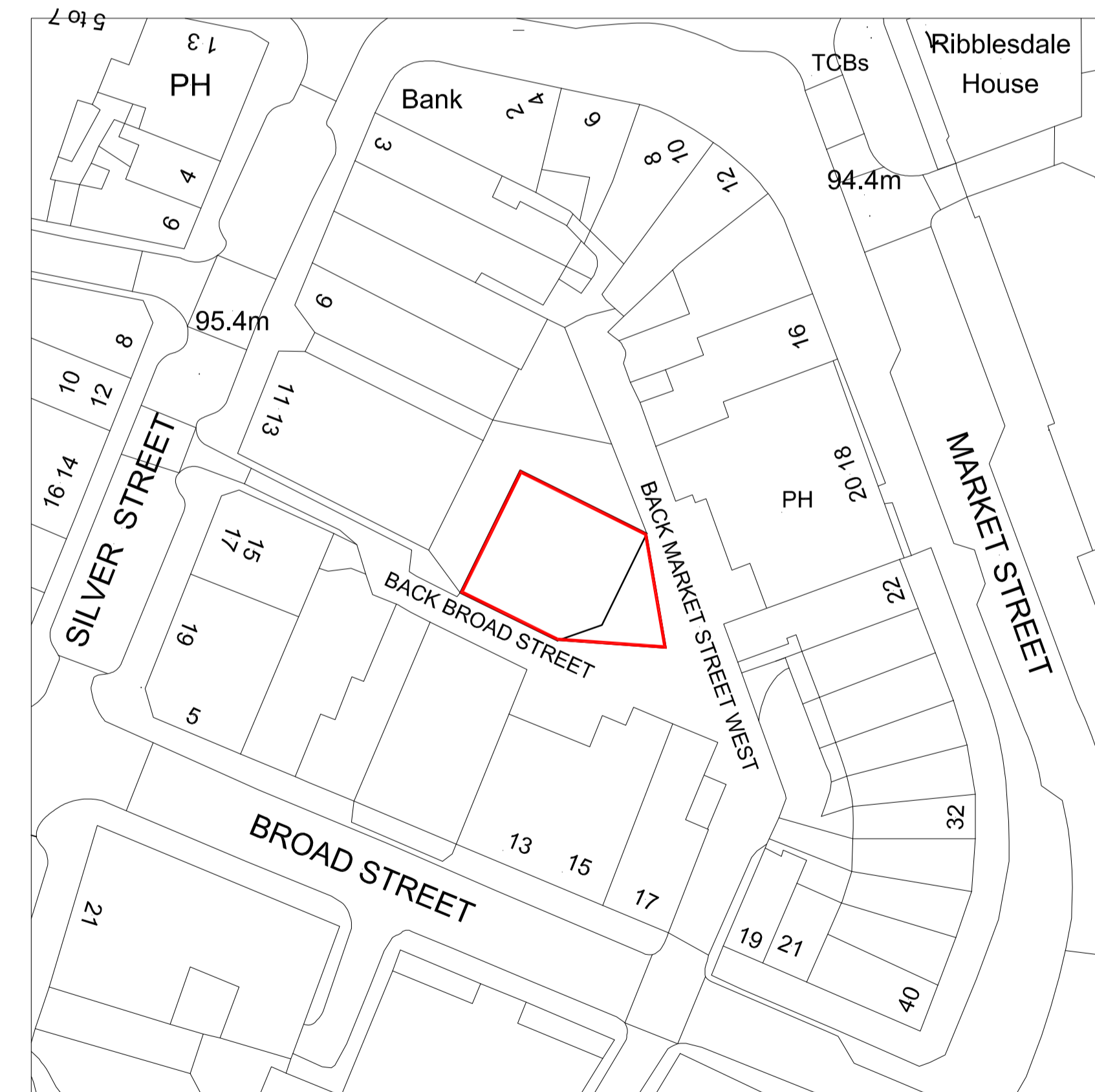
ELEVATION C



ELEVATION D



FLOOR PLAN



1:500 SCALE LOCATION PLAN

NOTES

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Any discrepancies are to be reported to the architect for clarification.

All materials and workmanship to be in accordance with the current British Standards and codes of practice.

This drawing is to be read in conjunction with all relevant Architectural, Structural Engineers, Mechanical Engineers, Electrical Engineers and Specialists drawings and specifications.

REV	DESCRIPTION	CHECK	DATE
CLIENT MARK GEBSKI & DALE TROTTER			
PROJECT PROPOSED LIVE MUSIC VENUE BACK BROAD STREET BURY			
DRAWING PLANS AND ELEVATIONS AS EXISTING			
SCALE 1:50 1:100	DATE MAY 2012	DRAWN AGW	CHECKED
DRAWING NO. C - 0165 - 01	CAD REFERENCE NO. CONCEPT	REVISION	



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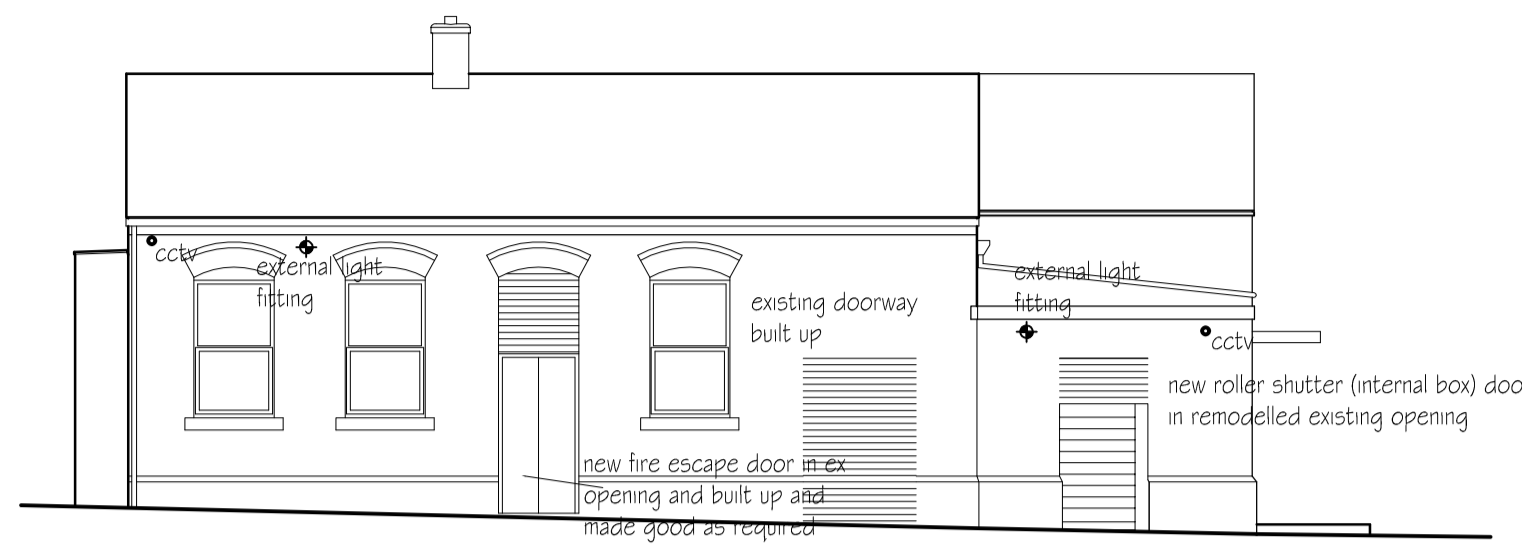
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All dimensions are to be checked on site prior to construction, manufacture of any components and ordering of materials and equipment.

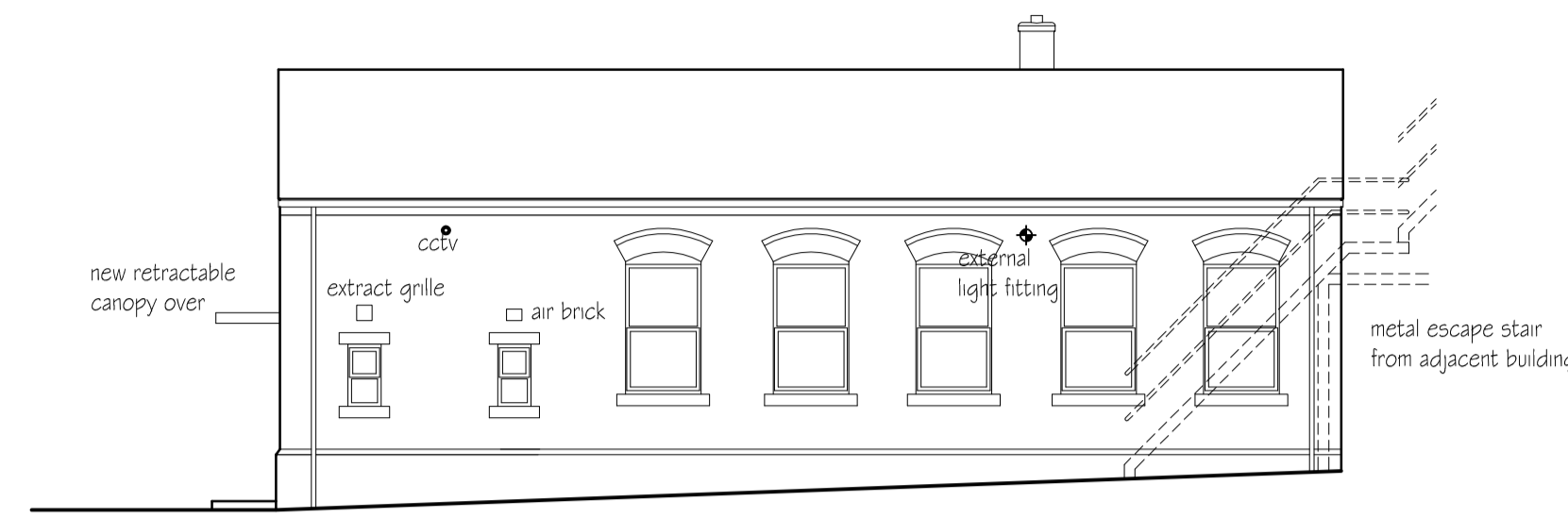
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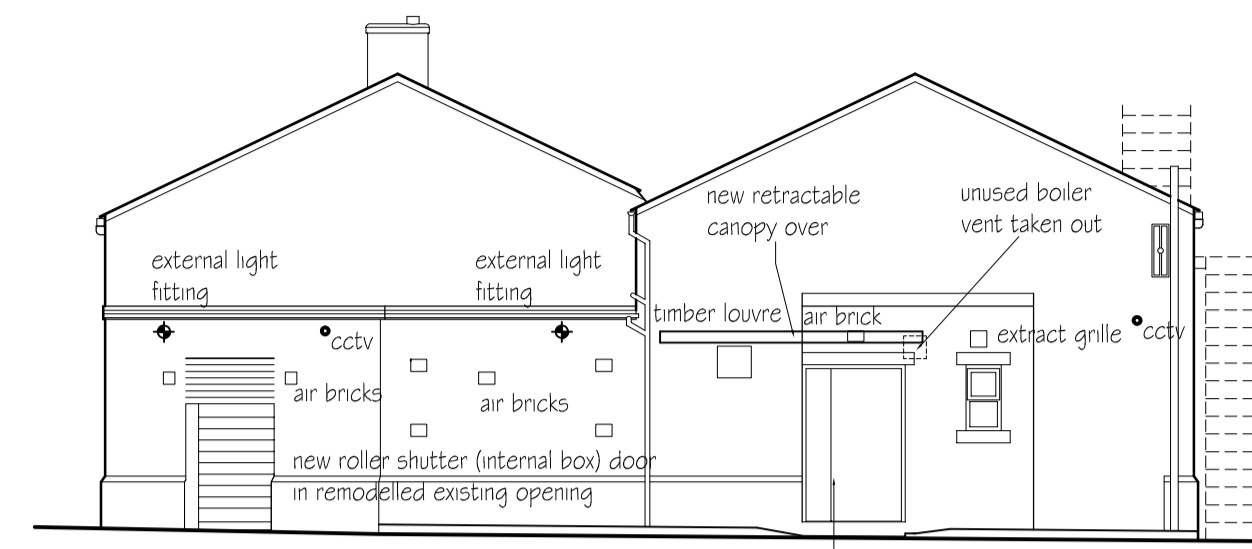
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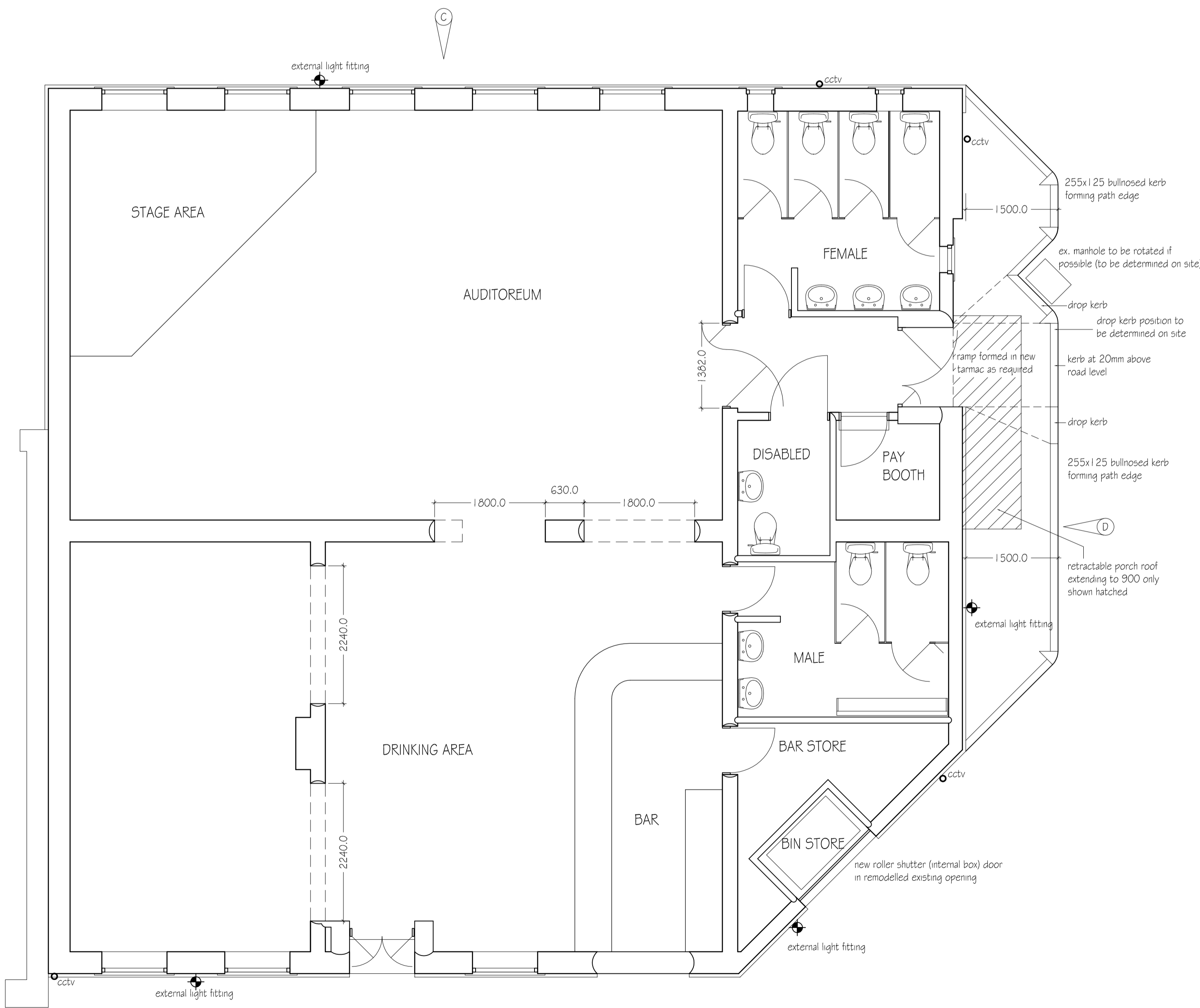
ELEVATION A TO BACK BROAD STREET



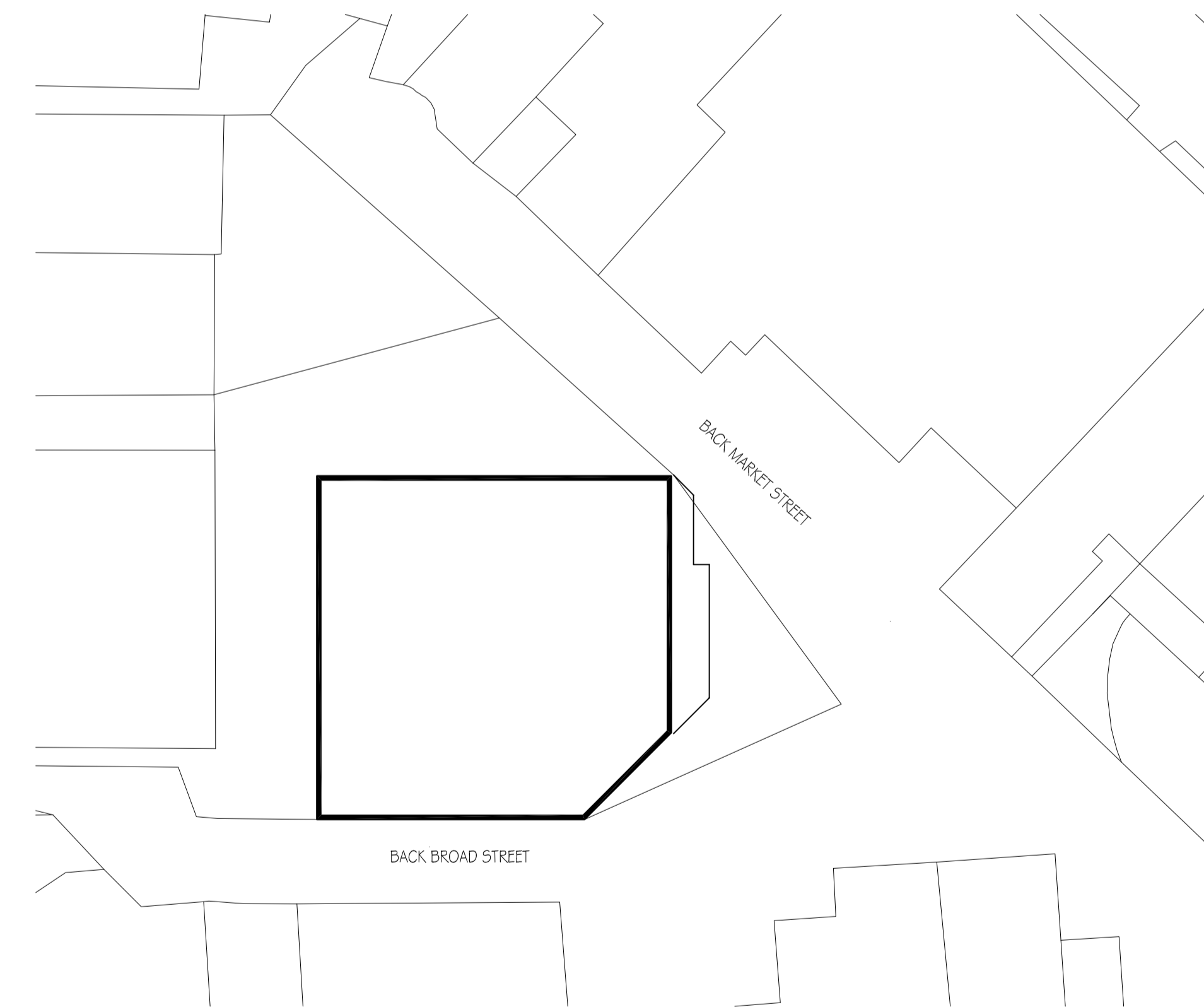
ELEVATION C



ELEVATION D



PROPOSED FLOOR PLAN



1:200 SCALE BLOCK PLAN

NOTE:
4 NO. CCTV CAMERAS TO BE POSITIONED AROUND BUILDING TO BE AGREED WITH THE POLICE.

ALSO EXTRA LIGHTING TO BE AGREED WITH THE POLICE REGARDING POSITIONS AND LUX LEVELS

REV	DESCRIPTION	CHECK	DATE
A	updated re engineers comments		29 June 12

CLIENT
MARK GEBSKI & DALE TROTTER

PROJECT
PROPOSED LIVE MUSIC VENUE
BACK BROAD STREET BURY

DRAWING
PLANS AND ELEVATIONS AS PROPOSED

SCALE	DATE	DRAWN	CHECKED
1:50 1:100	MAY 2012	AGW	
DRAWING NO.	CAD REFERENCE NO.	REVISION	
C-0165-02	CONCEPT	A	



Ward: Whitefield + Unsworth - Pilkington Park

Item 08

Applicant: Porada Ltd

Location: 231 Bury New Road, Whitefield, Manchester, M45 8QP

Proposal: Erection of conservatory to the south side (resubmission)

Application Ref: 55239/Full

Target Date: 19/07/2012

Recommendation: Approve with Conditions

Description

The site is located within the All Saints Conservation Area and the building which was a former bank, is on the draft local list.

Permission was granted for the change of use from a bank to a restaurant in August 2011 and for the lowering of the windows along the front elevation in January 2012. This application relates to these consents for external alterations and a change of use to a restaurant.

There are commercial properties to the north and east of the site and Whitefield Metrolink station is located to the southeast. There are residential properties to the west and open space to the south, with offices beyond.

The applicant seeks permission for the erection of a conservatory on the southern gable. The proposed conservatory would measure 3.9 metres by 6 metres and would be 3.4 metres in height at its highest point. The proposed conservatory would be constructed from brick with stone detailing with a glass fibre roof.

Relevant Planning History

00786/E - Proposed change of use from bank to theatre school - Enquiry completed 05/08/2011

54177 - Change of use from bank (Class A2) to restaurant (Class A3) at 231 Bury New Road, Whitefield. Approved with conditions - 24 August 2011

54716 - Non-material amendment following grant of planning permission 54177 for 4 no. larger replacement windows at front at 231 Bury New Road, Whitefield. Approved with conditions - 13 January 2012.

54751 - Erection of conservatory to the south side at 231 Bury New Road, Whitefield. Refused - 1 March 2012.

The application was refused as the proposed conservatory would be a prominent feature and would not be sympathetic to the existing structure.

Enforcement

11/0511 - Breach of Conditions at 231 Bury New Road, Whitefield. Application for condition discharge received - 22 December 2011

Publicity

10 neighbouring properties (3, 12 Church Lane; 229, 235 - 243 (odds), 268 Bury New Road; Unit 1 Bank Street) were notified by means of a letter on 29 May and a press notice was posted in the Bury Times on 7 June. Site notices were posted on 31 May 2012.

1 letter has been received from the occupiers of No. 12 Church Lane, which has raised the following issues:

- The proposed conservatory would increase the number of people visiting the site and therefore, more car parking would be required at the site.
- If no more parking is provided, the back access road may be blocked.

The objector has been notified of the Planning Control Committee.

Consultations

None required.

Unitary Development Plan and Policies

PPS5	PPS5 Planning for the Historic Environment
S1/3	Shopping in District Centres
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN1/2	Townscape and Built Design

Issues and Analysis

Design -The southern elevation of the building is very prominent and is seen from a variety of angles from both near and from across the road junction. The existing building has been carefully designed to show the full gable of this fairly elaborate lower entrance porch when viewed from the south. It provides a solid stop to the building, though it is seen in the context of the solid taller gable to the north.

The proposed conservatory has been re-designed following the previous refusal and includes substantially more brickwork. The proposed conservatory has included detailing from the existing building, such as stone plinths and cills and fascias in timber mouldings, which help to provide a stronger appearance. There would be three proposed windows in the gable elevation, which retain the vertical emphasis of the building. Overall, the proposed development would not be a prominent feature in the streetscene and would not detract from the character or appearance of the existing building and Conservation Area. Therefore, the proposed development would be in accordance with Policies EN1/2, EN2/1 and EN2/2 of the Bury Unitary Development Plan.

Scale of the Development and Parking - The floorspace of the proposed conservatory would be 16 square metres and if this is added top the proposed floorspace of the restaurant, the development should be providing a maximum of 27 parking spaces. The development would provide a total 13 parking spaces, including 1 disabled parking bay. The site is located within 60 metres of the Metrolink station and is located on a main bus route in a high access area with the large Morrisons and Metrolink car parks opposite. As such given its location and in this instance, the level of parking provision would be still be acceptable.

Response to objectors

The issue of parking has been addressed in the report above.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows;-

The proposed development would not be a prominent feature in the streetscene and would not impact on the residential amenity of the neighbouring properties. The proposed development would not harm the character or appearance of the Conservation Area. There are no other material considerations that outweigh this finding.

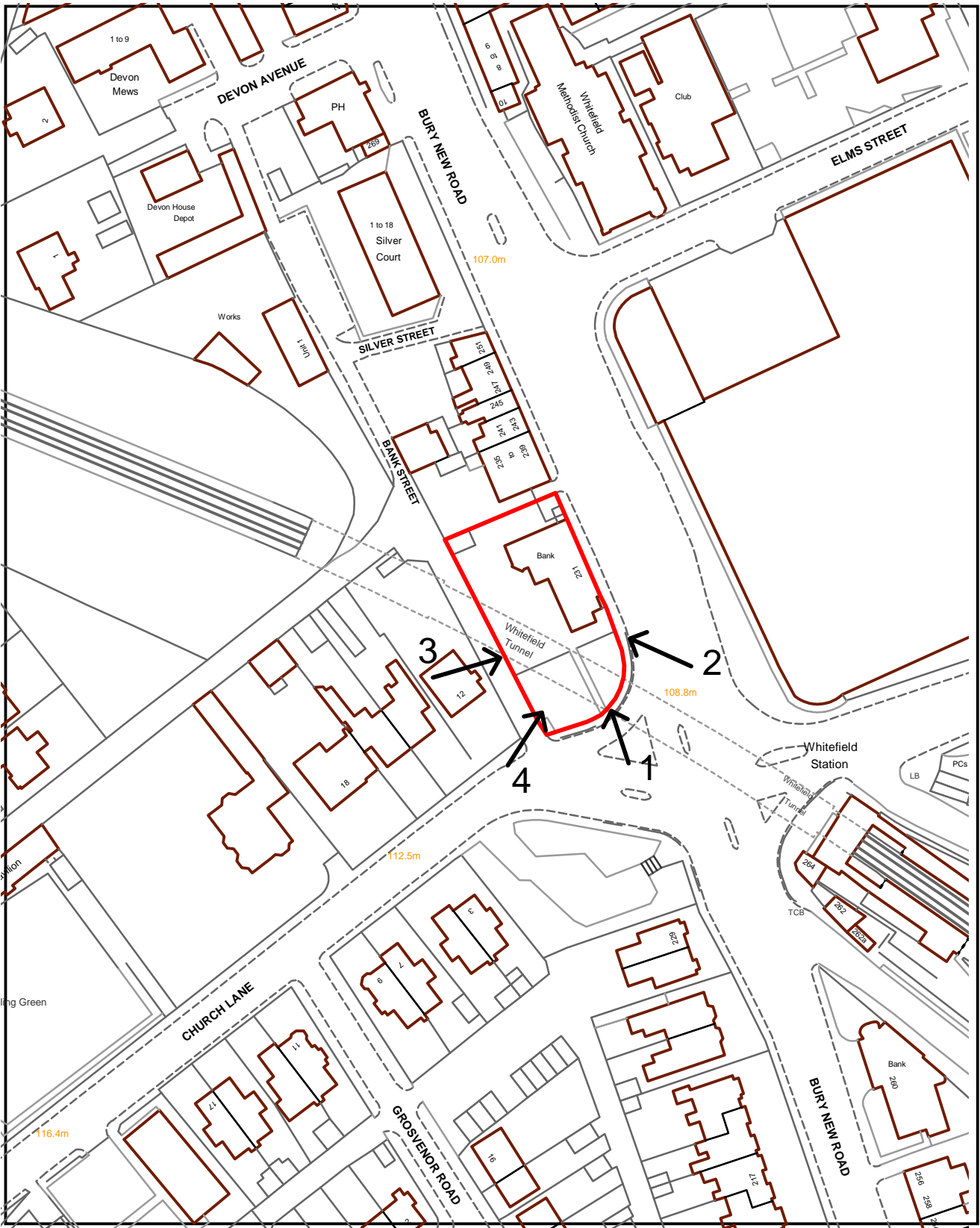
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered LP01, BP01, 412 C, 12, 410 C, 411 B and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. A sample panel of brickwork and mortar, demonstrating the colour, texture, face bond and pointing, not less than 1 sq.m in size, shall be erected on site for inspection, and approval in writing, by the Local Planning Authority prior to the commencement of the development. Samples of the roofing materials shall also be made available for inspection on site. Thereafter the development shall be constructed in the approved materials and manner of construction.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to the following Policies of the Bury Unitary Development Plan:
Policy EN1/2 - Townscape and Built Design
Policy EN2/1 - Character of Conservation Areas
Policy EN2/2 - Conservation AreaC

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 55239

**ADDRESS: 231 Bury New Road
Whitefield**

Planning, Environmental and Regulatory Services 1:1250

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Bury
COUNCIL

55239

Photo 1



Photo 2

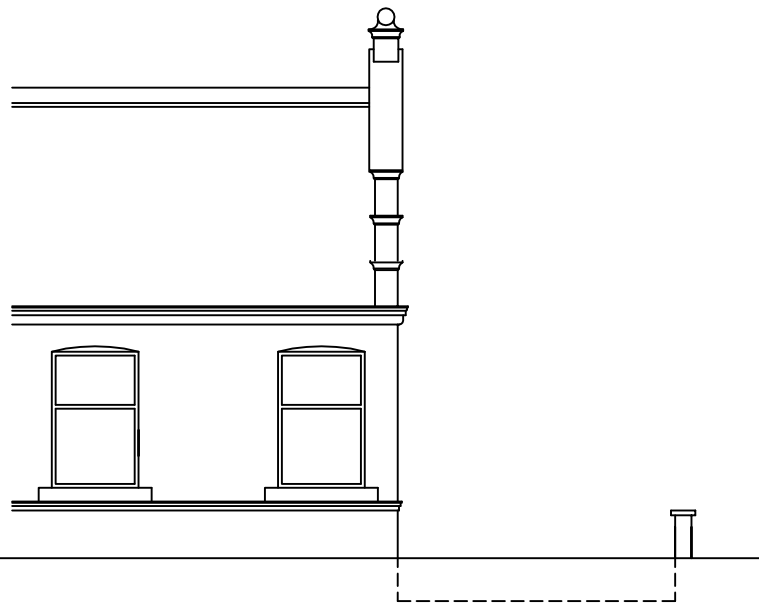


Photo 3



Photo 4





EXISTING PART REAR ELEVATION



EXISTING PART SIDE ELEVATION



FRONT ELEVATION TO ROAD - AS EXISTING

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**JOHN BARNES
ARCHITECT**

Moorsdale Parkbeck Huddersfield Road Diggle Oldham OL3 5NT
 Tel 01457 873373 Fax 01457 871744 email john.barnes@member.riba.org

231, Bury New Road, Whitefield.
 Change of use to Restaurant.

Existing Elevations.

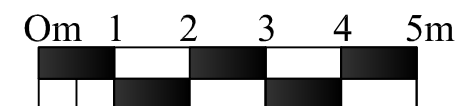
1:100 @ A3
 1:50 @ A1

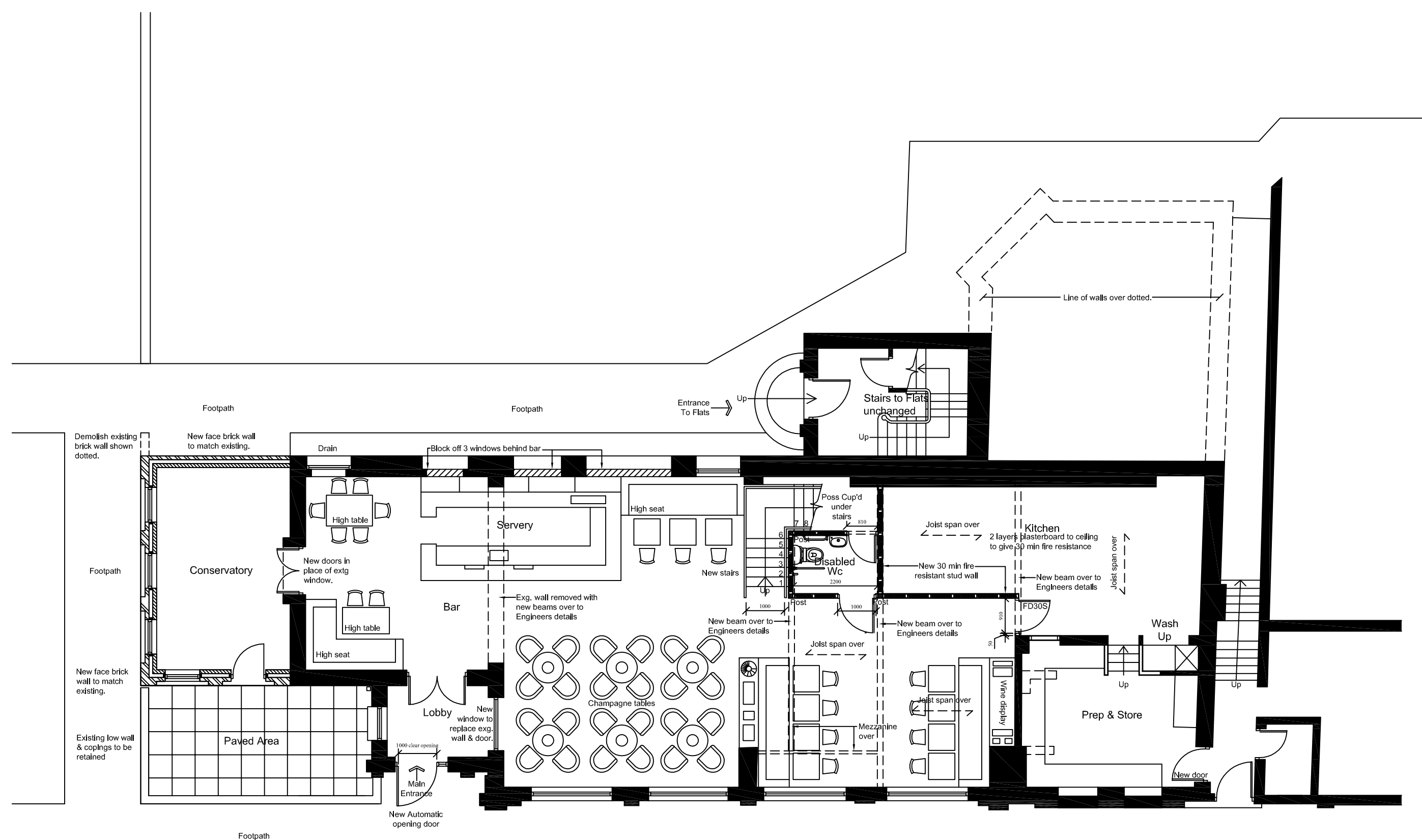
Drawing No

12

Nov 2011

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PROPOSED GROUND FLOOR PLAN

Rev C - Brick piers & stone added. May 2012.
 Rev B - Window size reduced. May 2012.
 Rev A - Conservatory redesigned. May 2012.
 Revisions

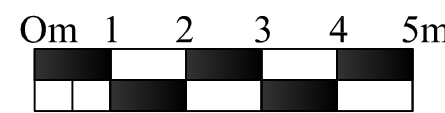
JOHN BARNES ARCHITECT
 Moordale Paddock, Huddersfield Road, Diggle, Oldham, OL3 5NT
 Tel 01457 873373 Fax 01457 0871744
 email j.barnes@barnesarchitect.co.uk

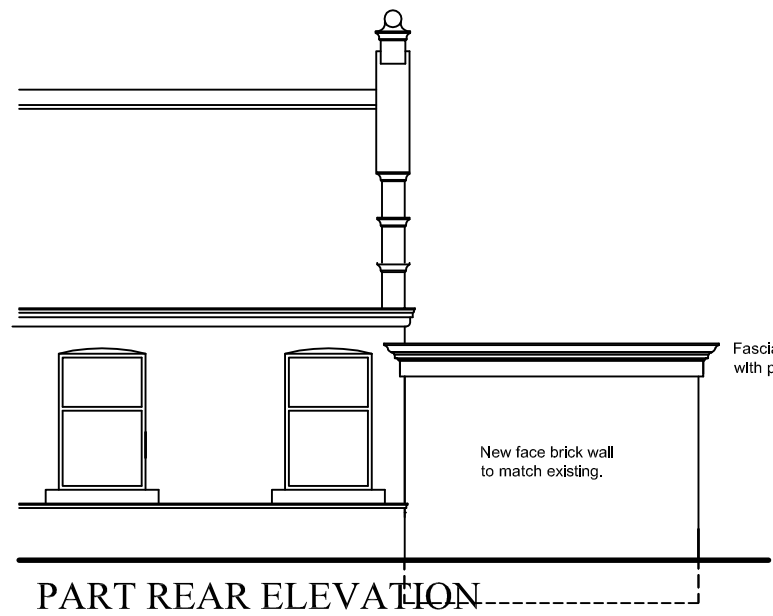
Project:
 231, Bury New Road, Whitefield.
 Proposed Conservatory.

Drawing:
 Proposed Ground Floor Plans

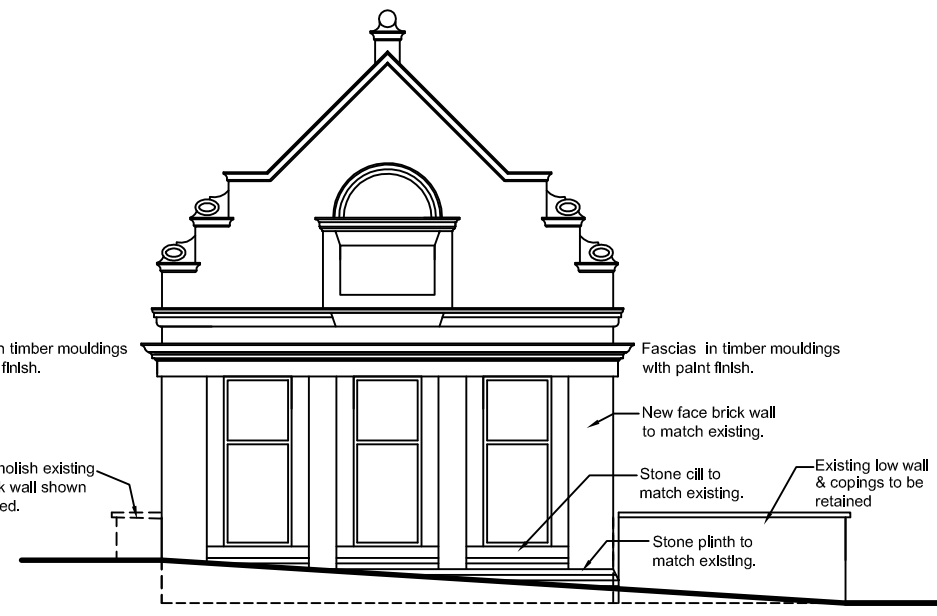
Scale: 1:100 @ A3 1:50 @ A1	Drawing No: 410 C
Date: Nov 2011	

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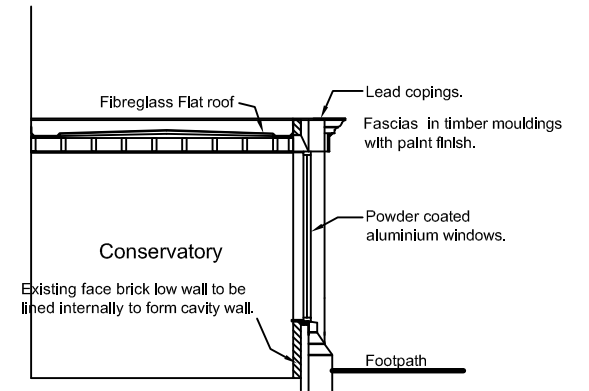




PART REAR ELEVATION



PROPOSED PART SIDE ELEVATION



PROPOSED SECTION



FRONT ELEVATION TO ROAD - AS PROPOSED

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Rev C - Brick piers & stone added. May 2012.
 Rev B - Window size reduced. May 2012.
 Rev A - Conservatory redesigned. May 2012.
 Revisions

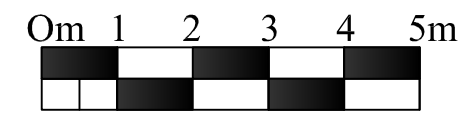
JOHN BARNES ARCHITECT
 Moordale Paddock Huddersfield Road Diggle Oldham OL3 5NT
 Tel 01457 873373 Fax 014570871744
 email: jbarnearchitect@btconnect.com

Project
 231, Bury New Road, Whitefield.
 Proposed Conservatory.

Drawing
 Proposed Elevations

Scale 1:100 @ A3 1:50 @ A1	Drawing No 412 C
Date Nov 2011	

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Ward: Radcliffe - East

Item 09

Applicant: United Utilities

Location: Land Between 52-162 & 183-245 Dumers Lane, Radcliffe, Manchester, M26 2GE

Proposal: Works by United Utilities (to construct a new underground pumping station) to include: 2 new access areas and temporary access; control box and outfall structure; demolition of pumping station; new fence; tree removal and new tree planting scheme

Application Ref: 55315/Full

Target Date: 09/08/2012

Recommendation: Approve with Conditions

Description

The application site comprises several areas of land off Dumers Lane.

The main area of the site is a piece of grassed open space which is located in front of social housing bungalows on Dumers Lane. The layout of the accommodation is such that it forms an arc and the grassed area which is affected by the development is to the front of these properties. Pedestrian footpaths run from the pavement on Dumers Lane to the bungalows and the area is planted out with mature trees and bedding plants. This layout is mirrored on the northern side of Dumers Lane.

Other land which forms part of the proposal is an area of grass land in front of Nos 72 and 74 Dumers Lane, an existing pumping station on the corner of Dumers Lane and Thorpe Avenue, and the embankment of the River Irwell.

The application is by United Utilities and is a major programme of works is required to refurbish and upgrade existing UU assets across the region as required by the water industry regulator OFWAT and the Environment Agency. The EA has identified the Bury area as being unsatisfactory and the proposed works have been designed to resolve this. The project will improve the quality of water discharged to the River Irwell.

The underground works can be carried out through statutory powers and are permitted development by virtue of the General Permitted Development Order 1995 Part 16 Class A (a) and the associated temporary construction compound permitted by virtue of GPDO 1995 Part 4 Class A.

The following elements require planning permission and include:

- Control kiosk - dark green steel kiosk to house the electrics and controls for the associated pumping station. It would be 3.25m in length, 0.75m wide and 1.9m high and located on the back edge of pavement on Dumers Lane.
- Two permanent accesses and associated access lay-by's referred to in the report as western access and eastern access) - These would be created off Dumers Lane and form a 'horse-shoe' shape within which a lay-by and pedestrian footpath would be formed and are proposed to facilitate the safe movement of operational vehicles to the sites for maintenance purposes. Where the access points cross the footway, it is proposed to be tarmac with the lay-by's turfed with a plastic sub base.
- Temporary access for construction compound - Located on the northern side of Dumers Lane this would facilitate the safe movement of construction vehicles to the associated construction compound.
- Pressure relief column - Proposed to vent air displaced from below the ground it would be a pole-like structure, 4m high and 0.2m in diameter and finished in a gloss black plastic.

- Outfall structure - Required to protect the new outfall pipe it would be located in the existing embankment of the River Irwell accessed via new flagged steps.
- Demolition of existing brick kiosk - Would no longer be required and therefore removed and a 1.8m high perimeter fence erected along the pavement edge. Bollards would also be put in to deter people from parking on the remaining hardstanding area.

The removal of 14 trees would be required to enable the construction of the works. Tree protection measures for those to be retained and a proposed tree planting scheme has been put forward as part of the proposal.

The applicant has carried out a site selection process which identified the proposed location for the works as being the most suitable available land along the line of the existing sewers. Three other options were considered and discounted. The preferred option was chosen due to less impact to traffic, minimal necessary services diversions and includes measures to incorporate a landscaping scheme to mitigate visual impact. Construction is programmed to commence in September 2012 for approximately 40 weeks.

Relevant Planning History

None relevant.

Publicity

Letters sent to 95 properties on 15/6/2012 to Nos 63, 169,173-263, Flat 1 265-267 Dumers lane (odds); 40-74, 150-184 Dumers Lane (evens); 2,4,6, Borough Avenue; 15,17 Riverside Road; 1,3,5 Thorpe Avenue; 1,1a,3,5 Wild Street; Unit 1B Bealeys Industrial Estate.

Site notice posted 15/6/2012.

Community Consultation - This was carried out by the applicant on Thursday 21st June 2012 at the proposed site area. Issues raised by the residents related to the following:

- Concern regarding the removal of the cherry trees and request more planted;
- Apply green concrete to the roof pumping station;
- Additional parking;
- Additional lay-by opposite the proposed works;
- Fence at the end of the path adjacent to the new outfall to prevent access to the unofficial footpath;
- Consideration of proposed working hours during construction;
- Cracked pavements from previous works and blocked gully needs attention.

Comment received from No 1 Thorpe Avenue requesting further information from UU regarding the removal of the substation adjacent to their property.

Consultations

Traffic Section - Response to be reported in the Supplementary Agenda.

Drainage Section - No response received to date.

Environmental Health Contaminated Land - No objection subject to standard conditions.

Environment Agency - No objection subject to conditions relating to landscape proposals and treatment of invasive species.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/4	Street Furniture
EN1/11	Public Utility Infrastructure
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
EN9	Landscape

OL3	Urban Open Space
OL5/3	Riverside and Canalside Development in Urban Areas
EN5/1	New Development and Flood Risk
NPPF	National Planning Policy Framework
H3/1	Assessing Non-Conforming Uses
EN7/2	Noise Pollution
EN9	Landscape
HT6/2	Pedestrian/Vehicular Conflict
HT4	New Development
EN1/5	Crime Prevention

Issues and Analysis

Policies - Unitary Development Plan Policy EN1/11 - Public Utility Infrastructure - The development of operational facilities for public utility provision will be permitted where this is necessary to implement the development objectives of the UDP or to meet relevant statutory obligations and environmental standards, and is consistent with other policies and proposals.

UDP Policy EN7/5 - Waste Water Management - In seeking to limit surface water pollution, development will not be permitted where there are not satisfactory arrangements for the disposal of foul sewerage, trade effluent and contaminated surface water; will exacerbate existing problems; or would present an unacceptable risk of spillage or leakage of polluting substances.

UDP Policy OL3 - Urban Open Space - Valuable areas of urban open space should be retained wherever possible for their amenity value.

National Planning Policy Framework (NPPF) - Local Planning Authorities should adopt proactive strategies to mitigate and adapt to climate change, taking full account of flood risk, coastal change and water supply and demand considerations. Where new developments are brought forward in areas which are vulnerable, care should be taken to ensure that risks can be managed through suitable adoption measures. The planning system should also aim to conserve and enhance the natural and local environment by minimising impacts on bio diversity and providing net gains in bio diversity where possible.

The development would deliver substantial environmental benefits by reducing the aesthetic impact of storm events on the River Irwell and is driven by the need to improve individual Unsatisfactory Intermittent Discharges to water courses which are causing a water quality deficiency or aesthetic problem in a number of water courses within Bury. The works are required by the water regulator OFWAT and the Environment Agency.

The associated structures have been sited to minimise visual intrusion and consideration has been given to the local residents in terms of impact on their outlook, noise and disturbance. Proposals also include mitigation measures to include a landscaping scheme. These are discussed below in detail.

In principle the development is considered acceptable and would comply with UDP Policies EN1/11, EN7/5 and the NPPF.

Siting and appearance - The element most likely to be most visual to the area is the formation of the 2 access points and the turning area on the grassed open space. The hardstanding has been kept to a minimum with the horeshoe shaped access onto the grassed area proposed as a bodpave surfacing, which is similar to grasscrete and therefore less visually invasive. The control kiosk and pressure relief column are not unlike other street furniture such as electricity cabinets, which are commonly positioned along pavements and public footpaths. The outfall structure would be located in the embankment of the River Irwell at a much lower level than the surrounding land and therefore would not be visible from Dumers lane. This part of the development would be accessed via a new paved footpath and steps from the newly created access point. The area involved is considered not to be significant in relation to the overall grassed land and visually would not

be harmful.

The existing brick kiosk on the corner of Thorpe Avenue would be removed and the floor slab filled in with concrete. The proposed fencing would continue that of the existing fence line and would be an appropriate addition to the area.

As such, the proposed development is considered not to have a detrimental impact on the visual amenity of the area and would comply with UDP Policies EN1/2 - Townscape and Built Design, OL3 - Urban Open Space and EN1/11 - Public Utility Infrastructure.

Residential amenity - The western access point would be 24m from the nearest residential property to the south, No 66 Dumers lane and the eastern access would be 22m from Nos 72 and 74 Dumers Lane, although the footpath from this access point would be closer to these bungalows, being 13m at the nearest point. However, the new accesses are for maintenance purposes only, and would be used infrequently (approximately 1 per month) and in emergencies only. The noise and disturbance associated with the use of this area is therefore considered to be minimal and there would not be a significant impact on the amenity of these local residents. Bollards would be installed to ensure that unauthorised vehicles could not use this area.

In terms of noise of the structures themselves, the works are typical of those constructed in many other locations across the North West by UU. The plant and equipment would be housed within the covered pumping station below the ground and do not generate any levels of noise or vibration which would be perceived by local residents or other members of the public. The works above ground would not generate any noise nuisance. The applicant states that no objections have been raised previously on noise issues.

As such, it is considered the proposals would comply with EN1/2 - Townscape and Built Design and EN7/2 - Noise Pollution.

Highways - The layout of the access roads and hard standing areas has come out of a series of pre-application discussions. This part of Dumers Lane is quite often used for parking, particularly by care workers and visitors to the residential bungalows. The proposed scheme would enable the site to be fully accessible for maintenance purposes with minimum impact on the flow of traffic along Dumers Lane, and without affecting parking in the area. Bollards would be put in place to restrict access to unauthorised vehicles. A lay-by has also been created to facilitate an area for use by ambulances or care workers to drop off or pick up residents of the bungalows in response to the local community's needs.

In terms of traffic movement, the site would be maintained on a 12 service visit per annum (1 per month) and a light commercial maintenance vehicle used. It would turn off Dumers Lane onto the proposed lay-by and therefore not impinge on the free flow of traffic on the main road. There may be on occasion a need for a tanker to visit the site but this would be for cleaning purposes once a year or in an emergency.

As such, the proposed layout is considered to afford suitable access without detriment to the safety of pedestrians or other road users, or have an impact on the flow of traffic.

As such, it would comply with UDP Policies HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.

Trees - There would be 13 individual trees and one group of trees removed as a consequence of the development. 3 are category A (good quality, retention most desirable), 6 are category B (quality and retention desirable) and 5 are category C (trees which could be retained). Together, they offer a valuable contribution to the visual amenity of the area, and individually some provide significant importance to the area and to the local community.

Whilst it is regrettable that these trees are required to be removed, it is essential in order for

the applicant to carry out the necessary development. Consequently, a landscaping scheme is proposed whereby 18 replacement trees would be planted. These would be required to be medium size and of ornamental value and interest. Tree protection measures would be incorporated around those to be retained whilst the works took place. To ensure a satisfactory resolution, a condition would be included requiring a landscape management plan, including long term objectives.

As such, the proposal is considered to be acceptable and would comply with UDP Policies EN8/2 - Woodland and Tree Planting and EN9 - Landscape.

Ecology - A habitat survey has been undertaken and included within the application. No fundamental problems have been identified, providing mitigation measures and appropriate methodologies are put in place regarding breeding birds, bats, otters and voles, and the treatment of invasive species. Appropriate conditions would be included to cover these issues.

Contractors compound - This element of the proposal does not require permission, but for information purposes an area on the south side of Dumers Lane would comprise of cabins to accommodate welfare facilities and offices, plus an area for materials storage. The proposed compound to the north of Dumers Lane is required for light duties such as Contractor's staff parking. This is to limit the frequency of construction traffic crossing the carriageway.

Response to No 1 Thorpe Avenue - E-mail response sent to the local residents informing them that UU would be in touch with regards to the works adjacent to their property. No further correspondence has been received further to this.

Response to Community Consultation feedback -

- Details of the finishing materials to be used for the concrete roof pumping station would be a condition of an approval.
- Additional parking and a lay by was discussed as part of the pre-application discussion. However, it was considered that the on street parking on Dumers Lane together with the applicant's agreement to provide 2 lay-by's for ambulance drop off and pick up's of the local residents was a sufficient contribution offered by the applicant. In terms of amenity, additional car park on the open grassed area directly in front of the bungalows would be considered harmful to their residential amenity as well as the visual amenity of the area.
- It is proposed to erect a steel palisade fence around the outfall shelter and a secure gate to this area to deter access.
- Working hours of 0800 to 1800 Monday to Friday and Saturday mornings are proposed, and these are considered to be standard working hours. Any issues relating to excessive noise and disturbance to residents would be covered in legislation under the Environmental Protection Act.
- The state of the existing highway has been referred to the relevant highways officer.
- The issue of landscaping has been dealt with in the above report.

Summary of reasons for Recommendation

Permission should be granted having regard to the policies and proposals listed and the reason(s) for granting permissions can be summarised as follows;-
The proposed development would facilitate essential infrastructure works. There would not be an adverse impact on the amenity of the local residents nor would there be any highway safety or access issues.
There are no other material considerations that outweigh this finding.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered -
UU/ES/E/LRP/80024539/5838/501/01C Rev C; BRY0026/80024539/00/97/1000 Rev B; BRY0026/80024539/00/97/1001 Rev B; BRY0026/80024539/00/97/1002 Rev B; BRY0026/80024539/00/97/1003 Rev B; BRY0026/80024539/00/97/1004 Rev B; BRY0026/80024539/00/97/1005 Rev B; BRY0026/80024539/00/97/1006 Rev B; BRY0026/80024539/00/97/8001 Rev A;
UU/ES/E/LRP/80024539/5838/2765; UU/ES/E/LRP/80024539/5838/2766a;
Design and Access Statement 12/06/2012; Supporting Statement 14/06/2012;
Ecological Survey by Pennine Ecological March 2012; Initial Conceptual Site Model May 2012; Flood Risk Assessment Pro-forma and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and a Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. No development shall take place until a landscape management plan, including long- term design objectives, management responsibilities and maintenance schedules for all landscaped areas (except privately owned domestic gardens), shall be submitted to, and approved in writing, by the Local Planning Authority. The landscape management plan shall be carried out as approved.
The scheme shall include the following elements:
 - detail extent and type of new planting which mitigates for lost riparian vegetation and preferably enhances the ecological quality of this section of Irwell wildlife corridor.
 - details of maintenance regimes.
 - details of treatment of site boundaries i.e., reinstatement disturbed river banksides, and any opportunities to remove existing poor/redundant outfall

structure from Irwell river corridor.

- details of management responsibilities.

Reason. To ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site in line with national planning policy and to secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design, EN8/2 – Woodland and Tree Planting and EN9 - Landscape of the Bury Unitary Development Plan. This condition is supported by the National Planning Policy Framework (NPPF), paragraph 109 which recognises that the planning system should aim to conserve and enhance the natural and local environment by minimising impacts on biodiversity and providing net gains in biodiversity where possible, contributing to the Government's commitment to halt the overall decline in biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures. Paragraph 118 of the NPPF also states that opportunities to incorporate biodiversity in and around developments should be encouraged.

6. No development shall take place until a detailed method statement, for removing or the long-term management/control of, Giant hogweed, Japanese Knotweed and Himalayan balsam on the site is submitted to, and approved in writing, by the Local Planning Authority. The method statement shall include proposed measures that will be used to prevent the spread of Giant hogweed, Japanese knotweed and Himalayan balsam during any operations such as mowing, strimming or soil movement. It shall also contain measures to ensure that any soils brought to the site are free of the seeds/root/stem of any invasive plant covered under the Wildlife and Countryside Act 1981, as amended. Development shall proceed in accordance with the approved method statement.

Reason. To prevent the spread of Giant hogweed, Japanese knotweed and Himalayan balsam which are invasive species. Without it, avoidable damage could be caused to the nature conservation value of the site contrary to national planning policy as set out in the NPPF paragraph 109, which requires the planning system to aim to conserve and enhance the natural and local environment by minimising impacts on biodiversity and providing net gains in biodiversity where possible.

7. No vegetation clearance shall be carried out on site between 1st March and 31st August inclusive in any year.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan, National Planning Policy Framework Section 11 - Conserving and Enhancing the Natural Environment and Protection of Nesting Birds, Wildlife & Countryside Act, 1981

8. The development shall not commence unless and until the scheme of protection for all trees to be retained on site in accordance with BS 5837:2005 "Trees in Relation to Construction" and illustrated on drawing UU/ES/TP/80021607/5838/2765 have been implemented, and all measures required by the scheme shall continue until the development has been completed.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

9. The development hereby approved shall be carried out in accordance with the recommendations relating to bats in the Ecological Surveys, Dumers Lane, Radcliffe, March 2012.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan.

10. The development shall be carried out in accordance with the recommendations relating to water voles in the Ecological Surveys, Dumers Lane, Radcliffe, March 2012.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan.

11. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction unless otherwise agreed in writing by the Local Planning Authority.

Reason - To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Unitary Development Plan Policy HT6/2 - Pedestrian/Vehicular Conflict

12. Details of the finishing materials of all the above ground structures shall be submitted to and approved in writing prior to the development hereby approved commencing. The approved scheme only shall be implemented and maintained.

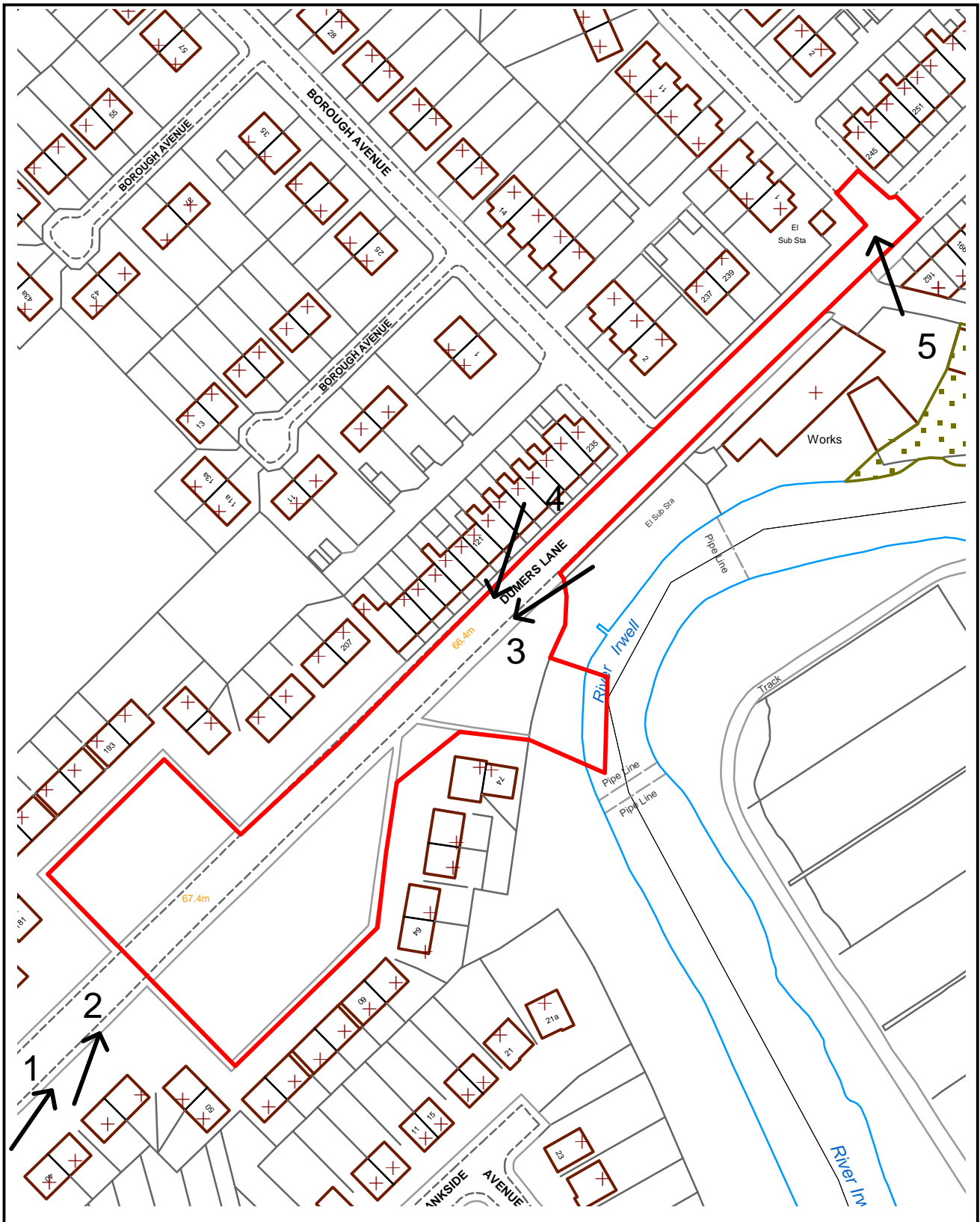
Reason. In the interests of visual amenity pursuant to Bury Unitary Development Plan Policy EN1/2 - Townscape and Built Design.

13. Details to show the position and elevations of the proposed fence to enclose the outfall structure, and elevational details of the proposed fence adjacent to the existing pump station shall be submitted and to and approved in writing by the Local Planning Authority prior to the commencement of the development hereby approved. The approved details only shall be implemented.

Reason. In the interests of visual amenity and security pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and EN1/5 - Crime Prevention.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 55315

ADDRESS: Land between 52-162 & 183-245 Dumers Lane
Radcliffe



Planning, Environmental and Regulatory Services 1:1250

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55315

Photo 1



Photo 2



Photo 3

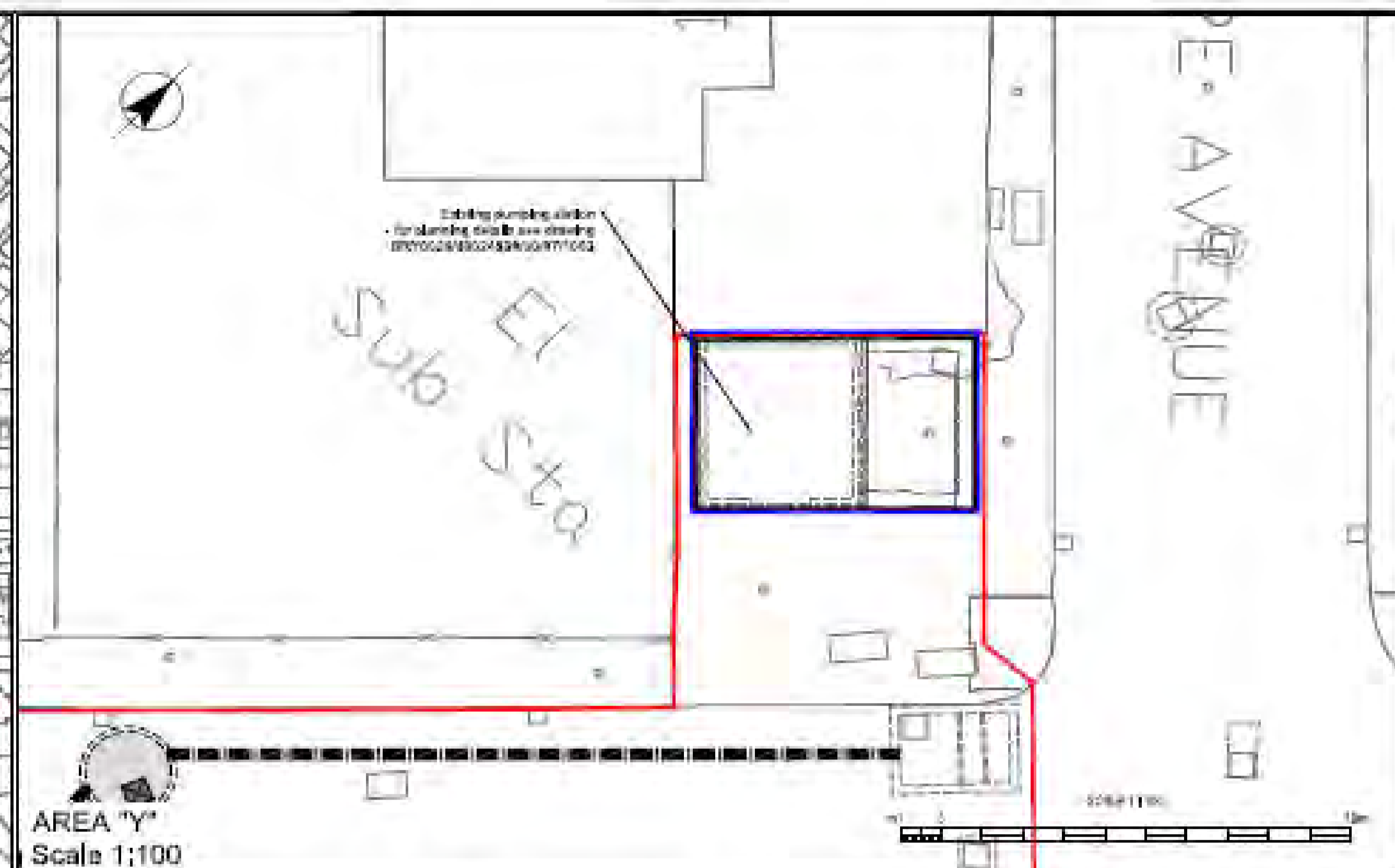
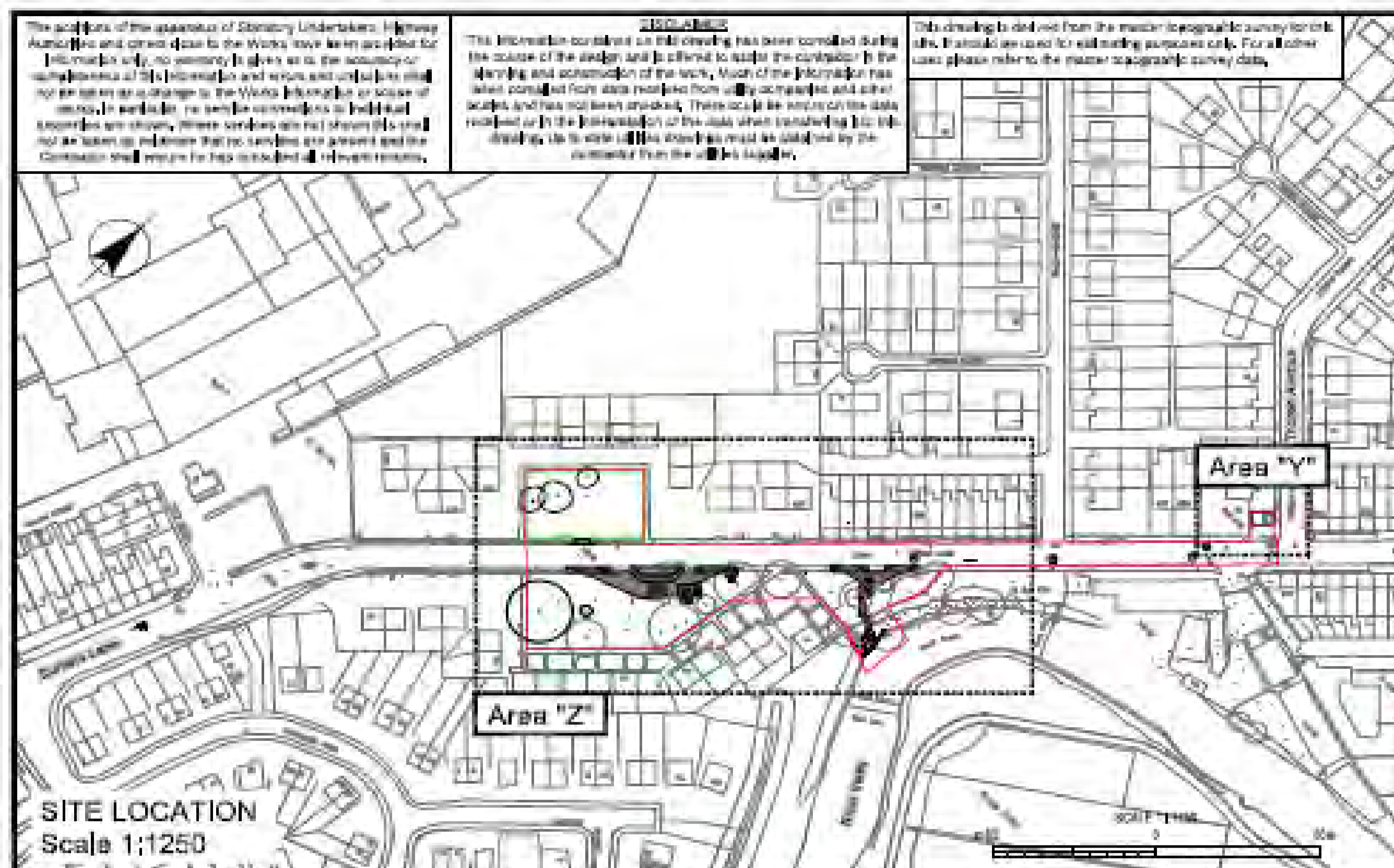


Photo 4



Photo 5



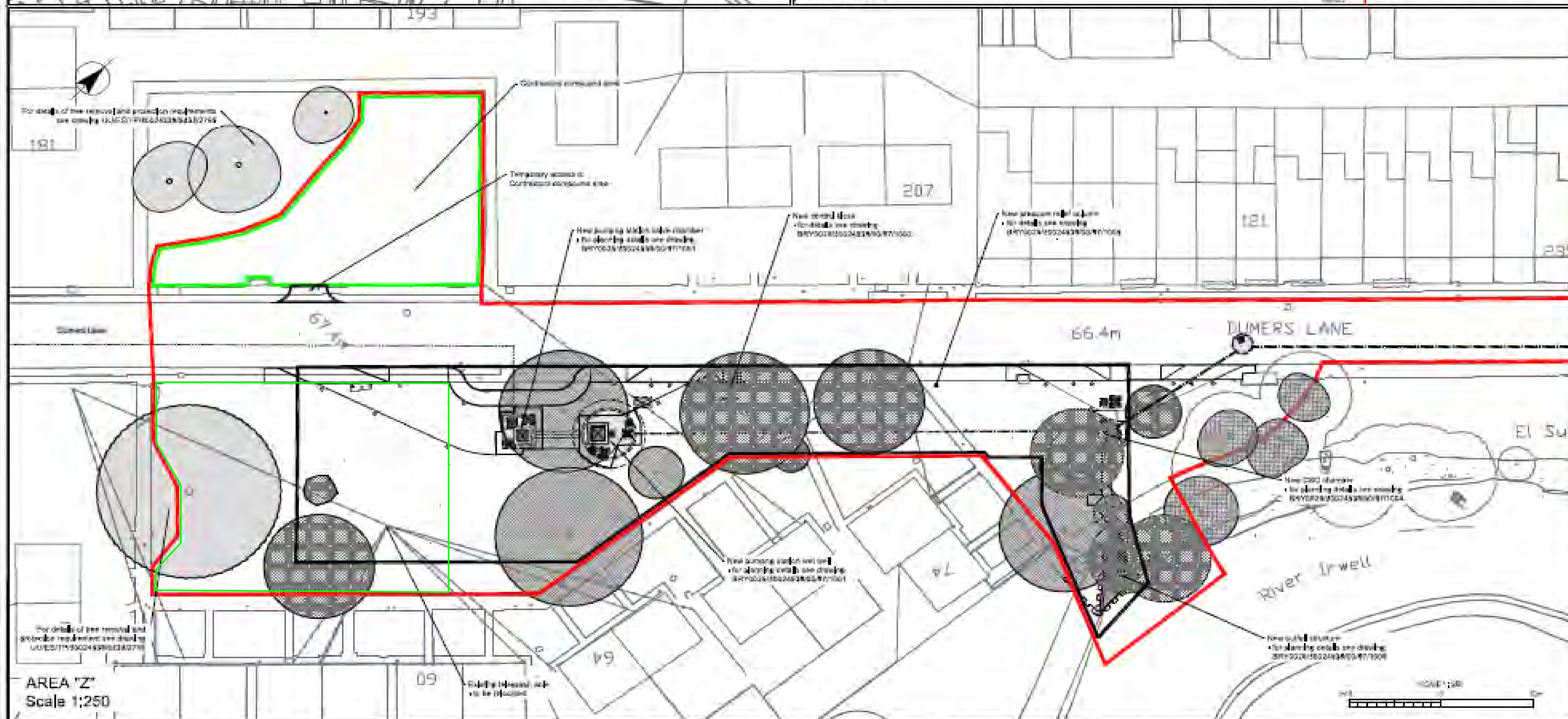


NOTES

1. All dimensions are given in millimetres unless otherwise stated.

LEGEND

- Existing tree to be removed
- Existing tree to be retained and protected
- New below ground structure
- New above ground structure
- New manhole structure - cover required at ground level
- New chamber - cover required at ground level
- New water supply main
- New water supply main for pumping station to water treatment
- New water mains
- Area to be planted (approved to area 12' - 1500 sqm from 11' - 31 sqm)
- Area already covered by tarmac
- Area required to undertake construction
- Area for temporary construction compound



B	ENC	SA	IC	Multiple use pumps	1/4/17
A	ENC	SA	IC	Multiple use pumps	1/4/17
	DATE	REV	NO	DESCRIPTION	DATE

United Utilities

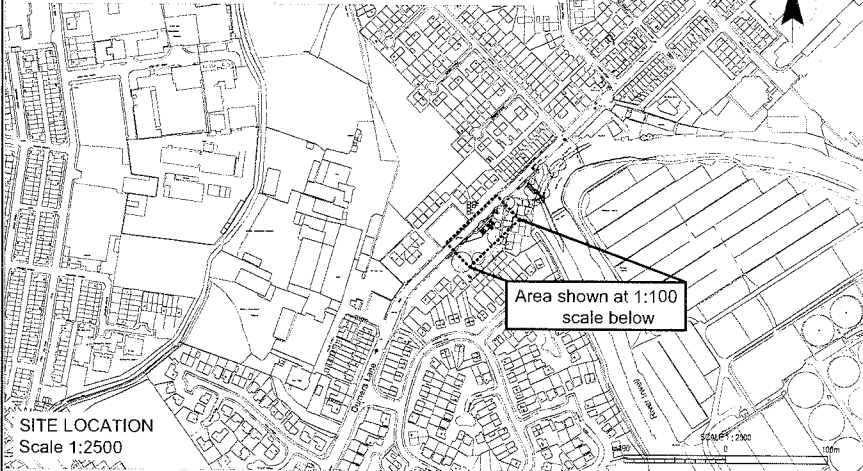
UNITED UTILITIES PLC
CROAL LTDs
BRY002 - DUMERS LANE
PLANNING DRAWING

SCALE	As Shown	SCALE	A1
PROJECT NO	BRY0026/80024530/00/07/1000	REVISED	B

The positions of the apparatus of Statutory Undertakers, Highway Authorities and others come to the Works have been provided for information only. No warranty is given as to the accuracy or completeness of this information and errors and omissions shall not be taken as a charge to the Works Information or scope of works. In particular, no reliance shall be placed on individual properties are shown. Where services are not shown this shall not be taken as evidence that no services are present and the Contractor shall ensure he has consulted all relevant records.

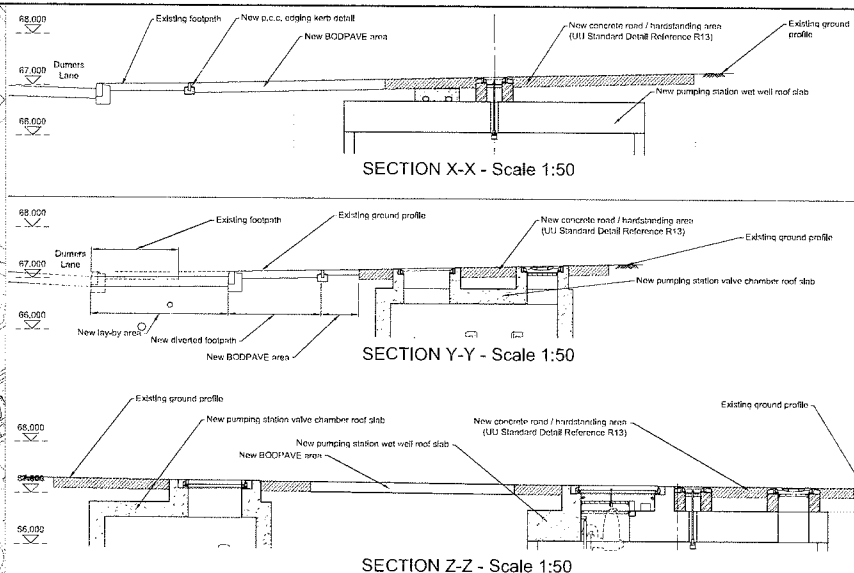
DISCLAIMER
The information contained on this drawing has been compiled during the course of the design and is offered to assist the contractor in the planning and construction of the work. Much of the information has been compiled from data received from utility companies and other bodies and has not been checked. There could be errors on the data received or in the interpretation of the data when transferring it to this drawing. Up to date utility drawings must be obtained by the contractor from the utilities supplier.

This drawing is derived from the master topographic survey for this site. It should be used for outlining purposes only. For all other users please refer to the master topographic survey data.



SITE LOCATION
Scale 1:2500

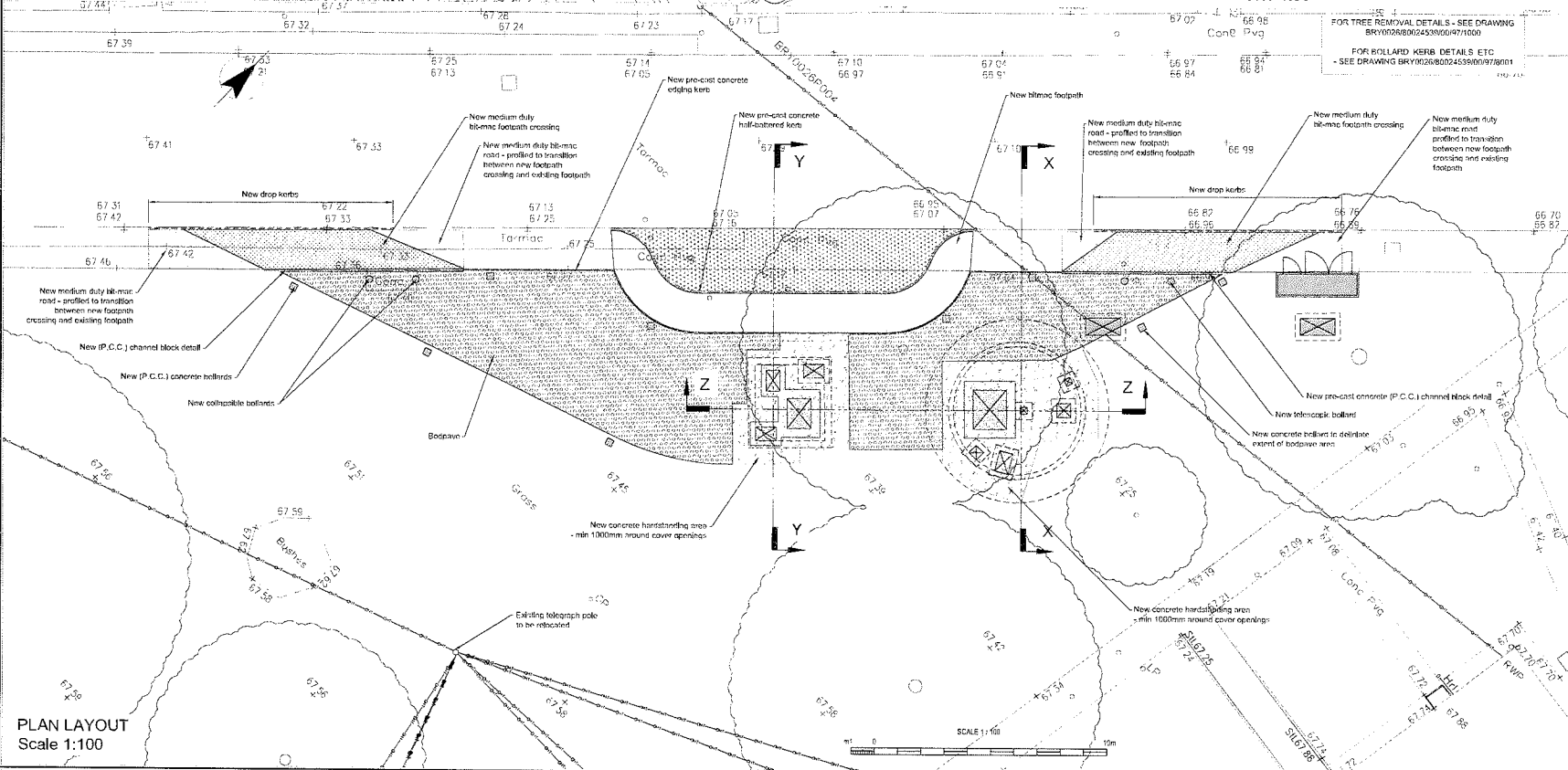
Area shown at 1:100 scale below



SECTION X-X - Scale 1:50

SECTION Y-Y - Scale 1:50

SECTION Z-Z - Scale 1:50



PLAN LAYOUT
Scale 1:100

NOTES
1. All dimensions in millimetres and all levels in metres unless shown otherwise.

LEGEND

- New footpath
- New medium duty bit-mac road
- New concrete road / handstanding area
- New pre-cast concrete (P.C.C.) channel block detail
- New pre-cast concrete half-battered kerb
- New pre-cast concrete edging kerb
- New cast chamber - cover exposed at ground level
- New chamber - cover exposed at ground level
- New below ground structure
- New telescopic bollard
- New concrete bollard to delineate extent of footpath area

SCALE 1:50

B	CPC	SA	JC	PLANNING APPLICATION	14 08 12
A	CPC	SA	JC	PLANNING APPLICATION	27 04 12
VERSION	REV	BY	DATE		DATE



UNITED UTILITIES PLC
CROAL UIDS
BRY0026 - DUMERS LANE
PLANNING DRAWING
NEW PUMPING STATION
PLAN LAYOUT AT GROUND LEVEL

SCALE	As Shown	SHEET NO	A1
DRAWING NUMBER	BRY0026/80024539/00/97/1001	REVISION	B

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LANDSCAPE NOTES

- General**
1. All planting to comply with BS5839 for Heavy Stock.
 2. All planting, other than shrubs and small plants, to be done in accordance with BS5424 Code of Practice for General Landscape Operations.
 3. All new planting must be pollarded in accordance with BS5837 to guide for trees to reduce or control growth.
 4. There are to be no trees planted within 1m of any underground or overhead services.
- Site of Installation**
- The landscape installation is to be carried out in the first available season after completion of the construction work, when weather and soil are suitable.
1. Seeding is to be carried out between April to October.
 2. Tree planting is to be carried out between April to October.
- Site of Installation**
1. All trees to be planted shall be 100mm diameter and any other standard sizes to be retained.
 2. Existing vegetation is to be cleared, by cutting with a suitable non-rotational hand-cutting tool and/or by other means.
- Tree Planting**
1. Planting to be carried out in accordance with the following:
 2. All to be planted with tree guards 1.0m deep and 1.0m wide.
- Proposed Standard Tree Schedule**
1. Proposed planting of 100mm diameter trees to be planted in accordance with the following:
 2. All to be planted with 100mm diameter trees and to be planted in accordance with the following:
 3. All to be planted with 100mm diameter trees and to be planted in accordance with the following:
 4. All to be planted with 100mm diameter trees and to be planted in accordance with the following:
 5. All to be planted with 100mm diameter trees and to be planted in accordance with the following:
- Proposed Grass Areas**
1. Areas to be mowed and to be mowed in accordance with the following:
 2. Areas to be mowed and to be mowed in accordance with the following:
 3. Areas to be mowed and to be mowed in accordance with the following:
 4. Areas to be mowed and to be mowed in accordance with the following:
 5. Areas to be mowed and to be mowed in accordance with the following:

REVISION INFORMATION				
DATE	REV			
DATE	DRAWN	CHKD	REV	PURPOSE
26/3/12	BT	MB		



SCALE 1 : 250
0 10m

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PLAN KEY

- Retained trees
- Proposed grass
- Proposed heavy standard tree

PROPOSED TREE PLANTING SCHEDULE (Heavy standards)

Name	Root	Girth	Height	no.
Pinus domestica	rootballed	1000cm	450cm min.	2
Pyrus calleryana 'Chenleese'	rootballed	1000cm	450cm min.	5
Sorbus aucuparia	rootballed	10-20cm	450cm min.	3
Quercus robur	rootballed	10-20cm	450cm min.	3
Tilia 'Greenish'	rootballed	1000cm	450cm min.	4

PROJECT	DUMERS LANE WwPS RADCLIFFE BRY0026
TITLE	LANDSCAPE PROPOSALS
NOT TO BE USED FOR CONSTRUCTION	
DRAWING NUMBER	UU/ES/L/80024539/5838/2766
SCALE	1:250
MASTER SIZE	A1